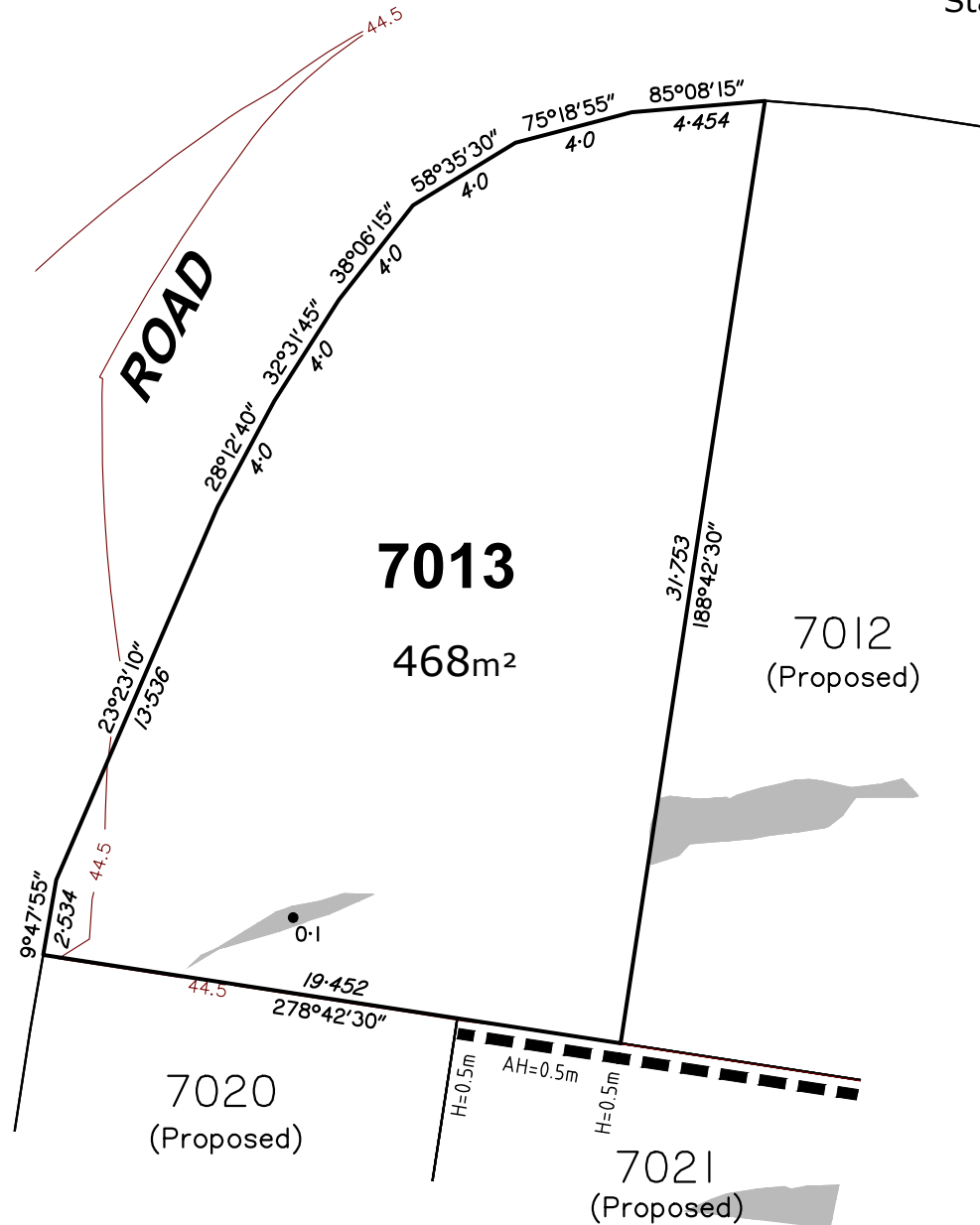


Lot 7013

Stage 7



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM193875, RL 46.405m AHD.
3. Contour Interval : 0.5m Design.
4. Retaining wall heights are shown at the base of the wall.
5. All dimensions and areas are subject to final survey and approval by ICC.
6. This plan has been prepared for disclosure under the Land Sales Act 1984.
7. This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose.
8. This plan shows details of Proposed Lot 7013 on proposal plan 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions.
9. The compaction of earth fill will be undertaken as advised by EGIS and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

Approximate Fill Area

— 24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 24-000435 provided by Egis.

H=0.7m
AH=0.7m
Denotes retaining wall height (H)
Denotes retaining wall average height (AH)
I-0 ● Denotes depth of fill

Scale 1:250



A	Original Issue	BRJ	26/02/2025
Issue	Revision	Int	Date

Title:

Disclosure Plan for Proposed Lot 7013

7001 Taylors Road, Walloon,
Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**ID WALLOON
DEVELOPMENTS PTY LTD**

Locality: WALLOON

Local Gov: ICC Prepared By: BRJ

Surveyed By: Approved: MJT

Date Created: 26/02/2025 Scale: 1:250

Comp File: 220149.project

Plan No: 220149_002_DIS



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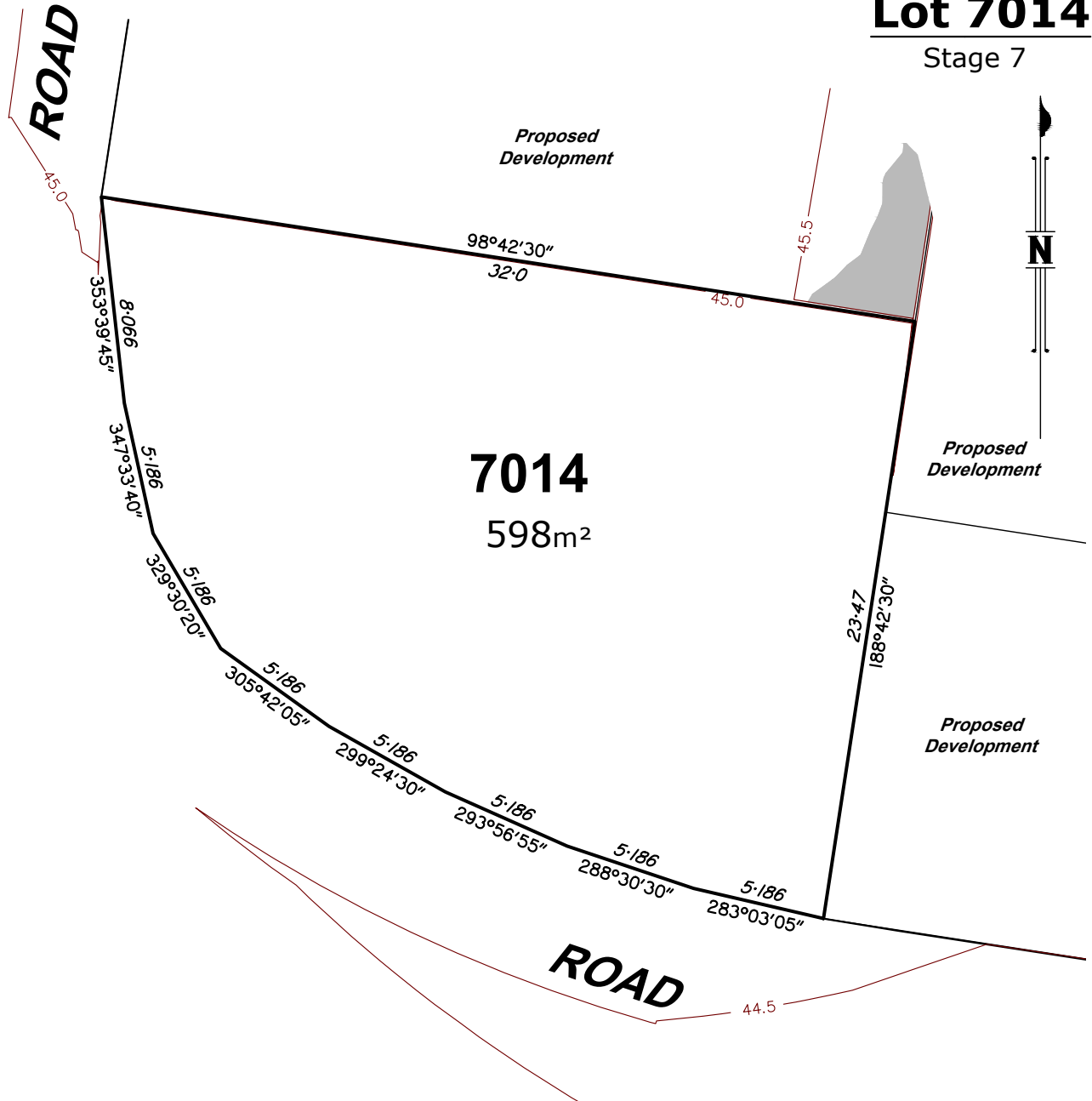
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Lot 7014

Stage 7



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM193875, RL 46.405m AHD.
3. Contour Interval : 0.5m Design.
4. Retaining wall heights are shown at the base of the wall.
5. All dimensions and areas are subject to final survey and approval by ICC.
6. This plan has been prepared for disclosure under the Land Sales Act 1984.
7. This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose.
8. This plan shows details of Proposed Lot 7014 on proposal plan 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions.
9. The compaction of earth fill will be undertaken as advised by EGIS and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

Approximate Fill Area

24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 24-000435 provided by Egis.

H=0.7m
Denotes retaining wall height (H)

AH=0.7m
Denotes retaining wall average height (AH)

I-0 ● Denotes depth of fill

Scale 1:250



A	Original Issue	BRJ	26/02/2025
Issue	Revision	Int	Date

Title:

Disclosure Plan for Proposed Lot 7014

7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

ID WALLOON DEVELOPMENTS PTY LTD

Locality: WALLOON

Local Gov: ICC

Prepared By: BRJ

Surveyed By:

Approved: MJT

Date Created: 26/02/2025

Scale: 1:250

Comp File: 220149.project

Plan No: 220149_002_DIS



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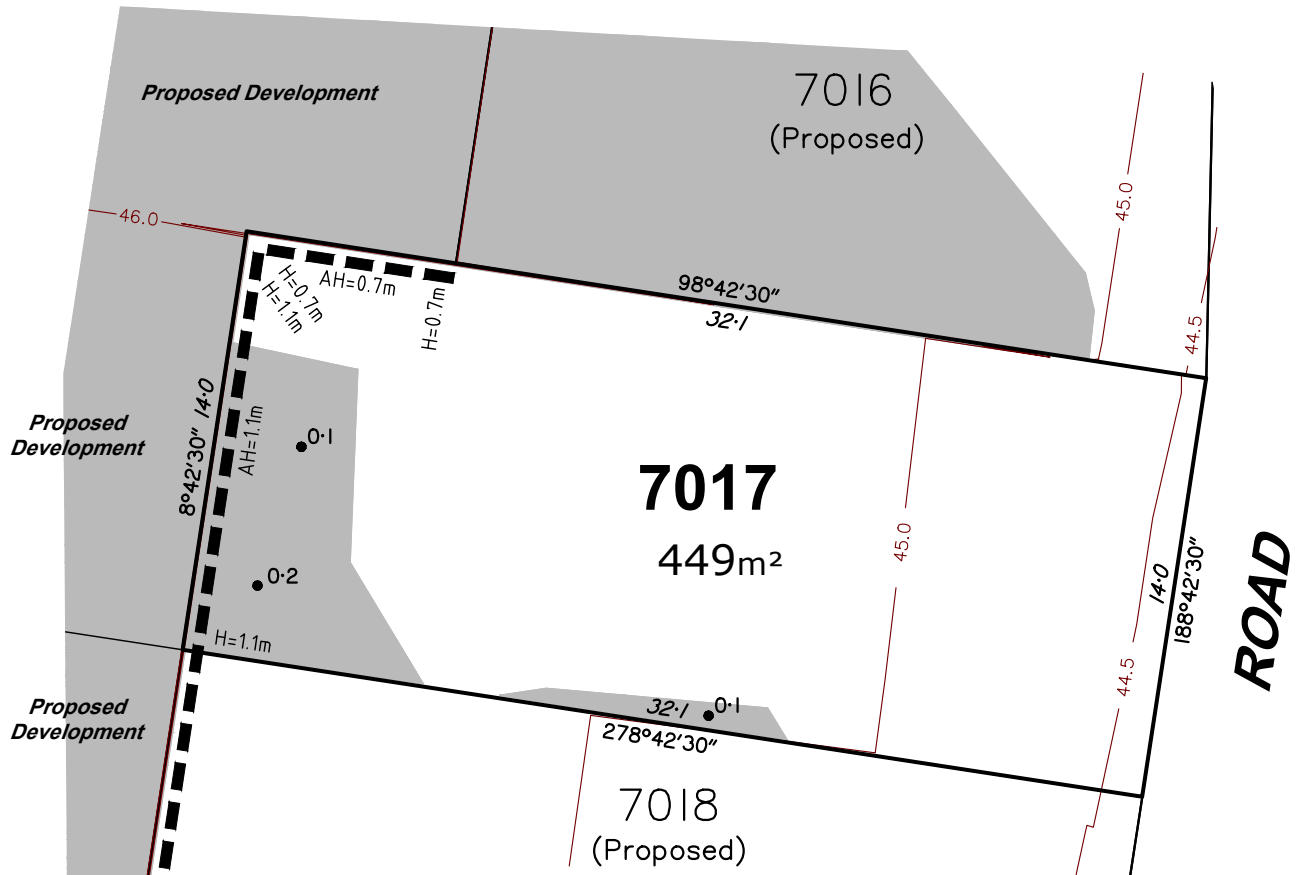
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Notes:

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6. This plan has been prepared for disclosure under the Land Sales Act 1984.
7. This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose.
8. This plan shows details of Proposed Lot 7017 on proposal plan 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions.
9. The compaction of earth fill will be undertaken as advised by EGIS and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

Approximate Fill Area

24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 24-000435 provided by Egis.

 H=0.7m
Denotes retaining wall height (H) AH=0.7m
Denotes retaining wall average height (AH)

I-0 ● Denotes depth of fill

Scale 1:250

A	Original Issue	BRJ	26/02/2025
Issue	Revision	Int	Date



Title:

**Disclosure Plan for
Proposed Lot 7017**

7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**ID WALLOON
DEVELOPMENTS PTY LTD**

Locality: WALLOON

Local Gov: ICC Prepared By: BRJ

Surveyed By: Approved: MJT

Date Created: 26/02/2025 Scale: 1:250

Comp File: 220149.project

Plan No: 220149_002_DIS



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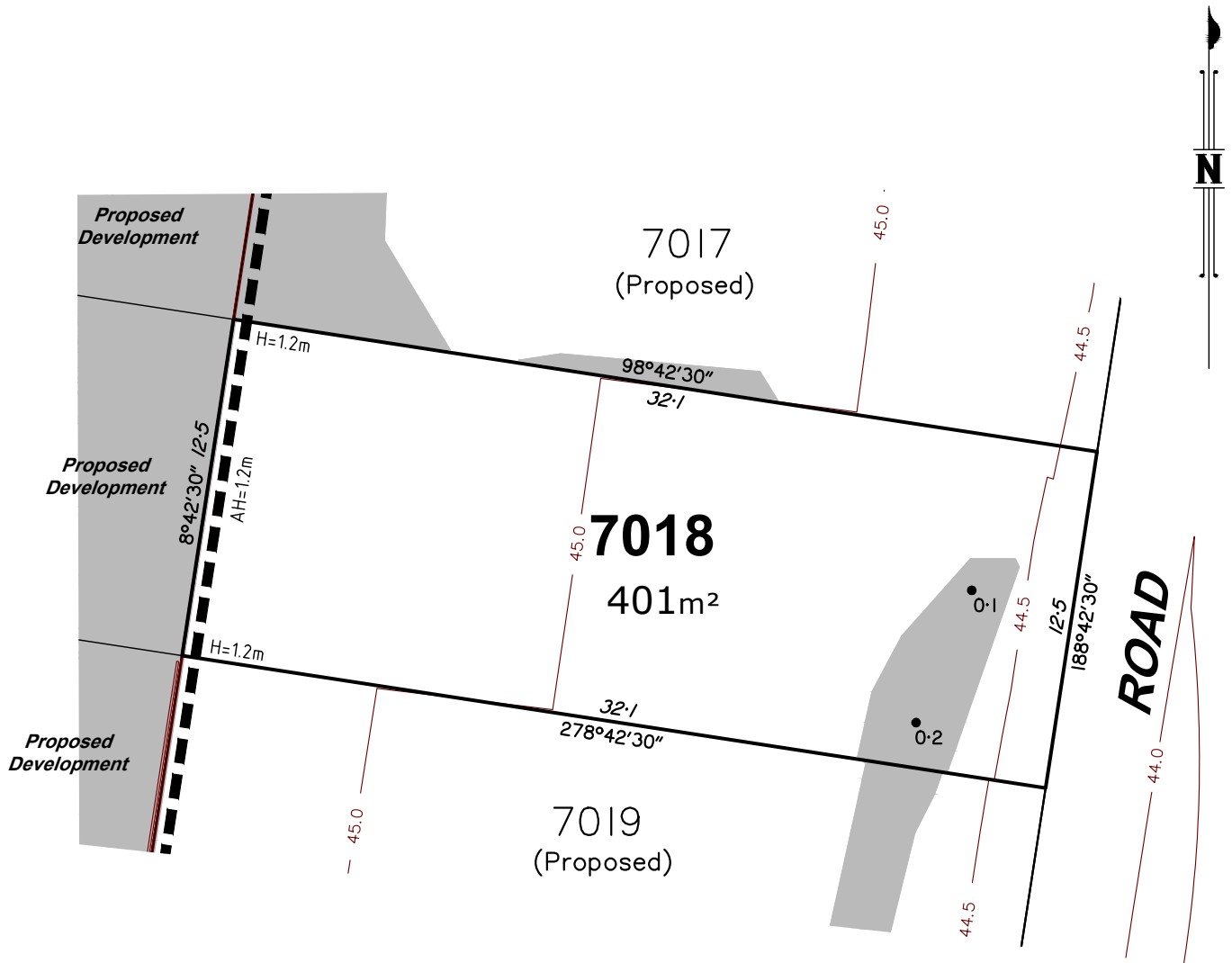
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Lot 7018

Stage 7



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM193875, RL 46.405m AHD.
3. Contour Interval : 0.5m Design.
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6. This plan has been prepared for disclosure under the Land Sales Act 1984.
7. This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose.
8. This plan shows details of Proposed Lot 7018 on proposal plan 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions.
9. The compaction of earth fill will be undertaken as advised by EGIS and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

Approximate Fill Area

— 24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 24-000435 provided by Egis.

H=0.7m
AH=0.7m
I-0 ● Denotes depth of fill

Scale 1:250



A	Original Issue	BRJ	26/02/2025
Issue	Revision	Int	Date

Title:

Disclosure Plan for Proposed Lot 7018

7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**ID WALLOON
DEVELOPMENTS PTY LTD**

Locality: WALLOON

Local Gov: ICC

Prepared By: BRJ

Surveyed By:

Approved: MJT

Date Created: 26/02/2025

Scale: 1:250

Comp File: 220149.project

Plan No: 220149_002_DIS



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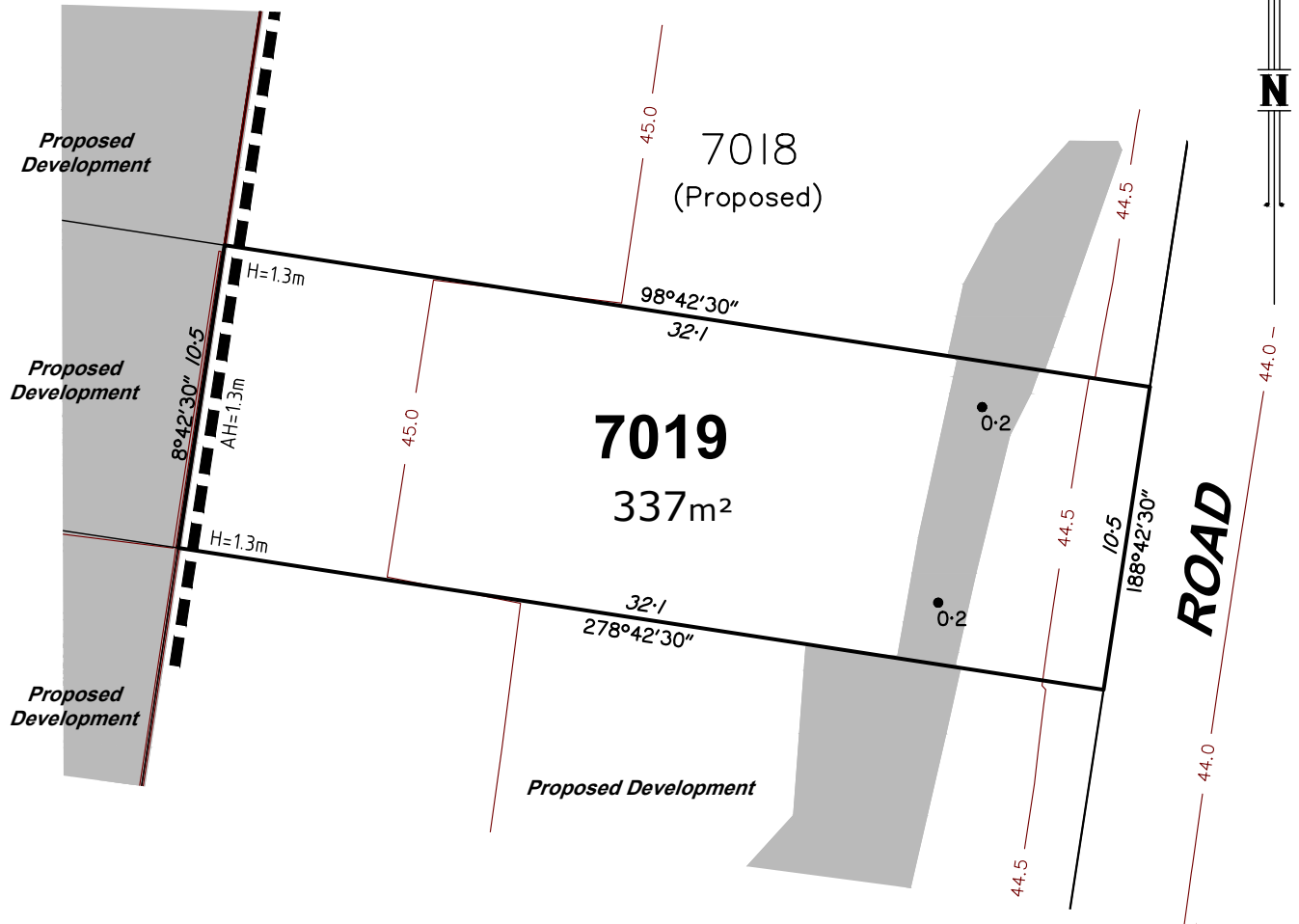
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A4

Lot 7019

Stage 7



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM193875, RL 46.405m AHD.
3. Contour Interval : 0.5m Design.
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7. This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose.
8. This plan shows details of Proposed Lot 7019 on proposal plan 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions.
9. The compaction of earth fill will be undertaken as advised by EGIS and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

Approximate Fill Area

24 Design Contours

H=0.7m

AH=0.7m

I-0

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 24-000435 provided by Egis.

Denotes retaining wall height (H)

Denotes retaining wall average height (AH)

I-0 Denotes depth of fill

Scale 1:250

A	Original Issue	BRJ	26/02/2025
Issue	Revision	Int	Date



Title:

Disclosure Plan for Proposed Lot 7019

7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

ID WALLOON
DEVELOPMENTS PTY LTD

Locality: WALLOON

Local Gov: ICC

Prepared By: BRJ

Surveyed By:

Approved: MJT

Date Created: 26/02/2025

Scale: 1:250

Comp File: 220149.project

Plan No: 220149_002_DIS



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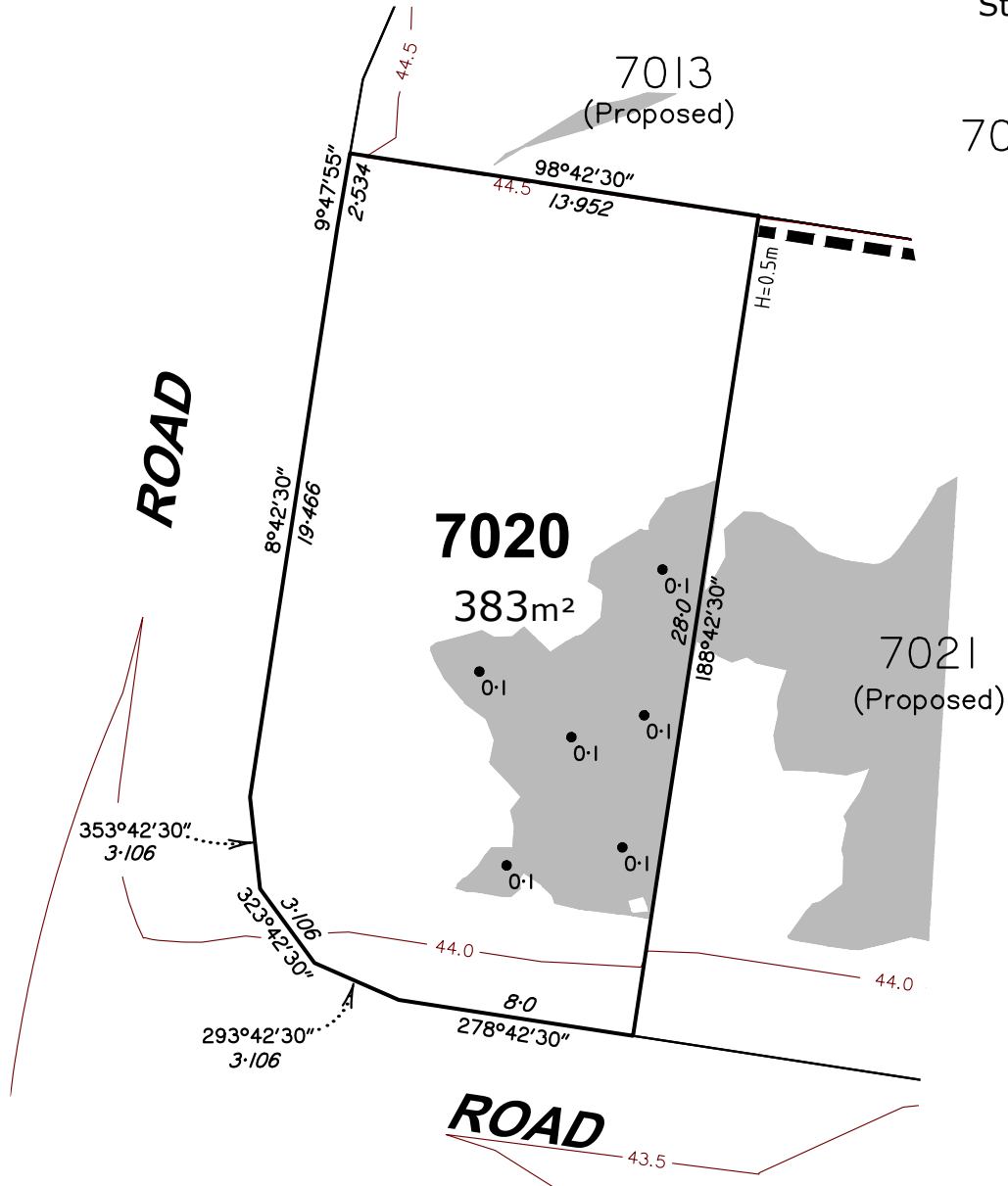
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A4

Lot 7020

Stage 7



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM193875, RL 46.405m AHD.
3. Contour Interval : 0.5m Design.
4. Retaining wall heights are shown at the base of the wall.
5. All dimensions and areas are subject to final survey and approval by ICC.
6. This plan has been prepared for disclosure under the Land Sales Act 1984.
7. This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose.
8. This plan shows details of Proposed Lot 7020 on proposal plan 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions.
9. The compaction of earth fill will be undertaken as advised by EGIS and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

Approximate Fill Area

— 24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 24-000435 provided by Egis.

H=0.7m
AH=0.7m
I-0 ● Denotes depth of fill

Scale 1:250



A	Original Issue	BRJ	26/02/2025
Issue	Revision	Int	Date

Title:

Disclosure Plan for Proposed Lot 7020

7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**ID WALLOON
DEVELOPMENTS PTY LTD**

Locality: WALLOON

Local Gov: ICC Prepared By: BRJ

Surveyed By: Approved: MJT

Date Created: 26/02/2025 Scale: 1:250

Comp File: 220149.project

Plan No: 220149_002_DIS



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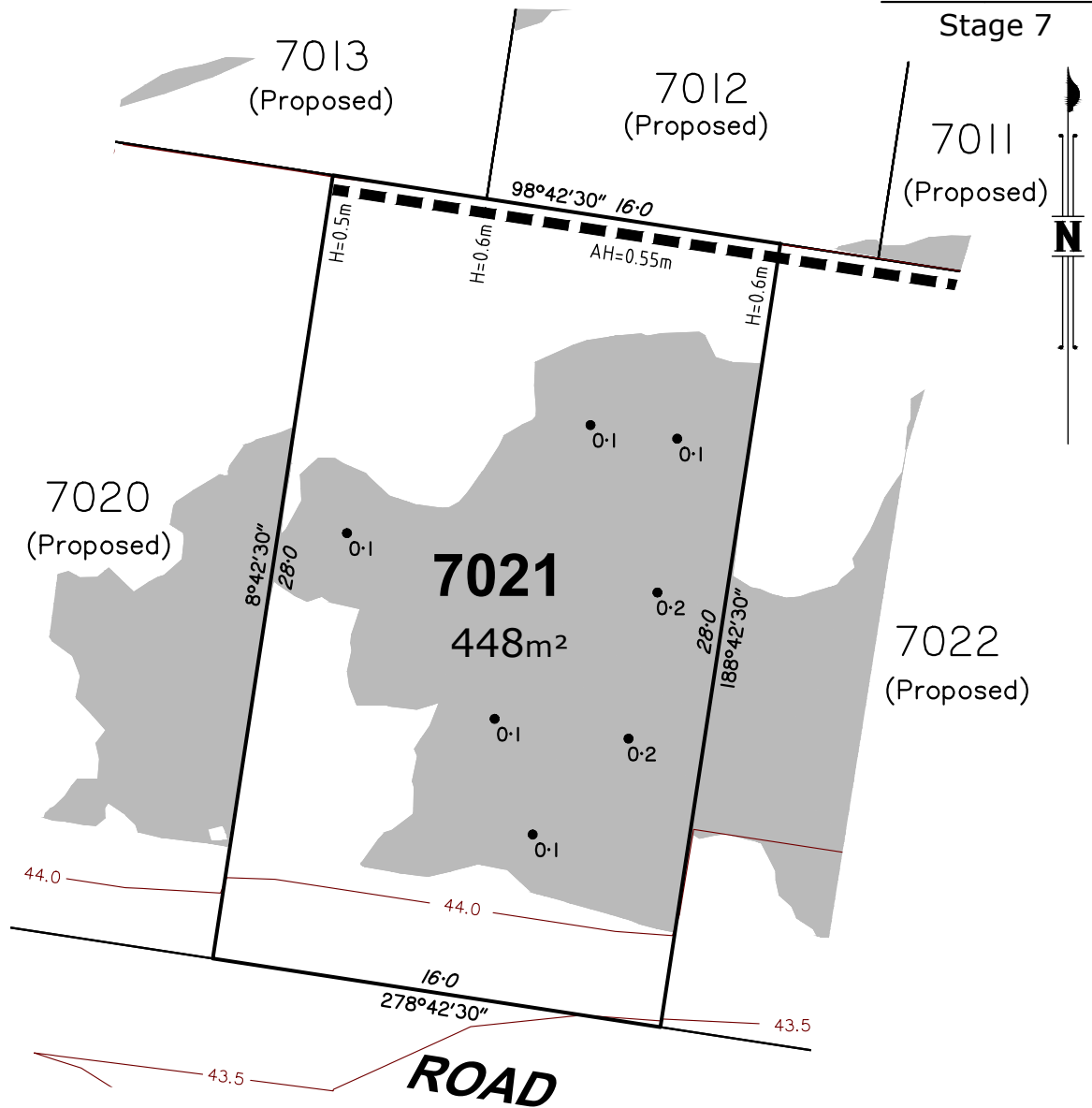
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A4

Lot 7021

Stage 7



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM193875, RL 46.405m AHD.
3. Contour Interval : 0.5m Design.
4. Retaining wall heights are shown at the base of the wall.
5. All dimensions and areas are subject to final survey and approval by ICC.
6. This plan has been prepared for disclosure under the Land Sales Act 1984.
7. This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose.
8. This plan shows details of Proposed Lot 7021 on proposal plan 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions.
9. The compaction of earth fill will be undertaken as advised by EGIS and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

Approximate Fill Area

24 Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 24-000435 provided by Egis.

H=0.7m
AH=0.7m
Denotes retaining wall height (H)
Denotes retaining wall average height (AH)
I-0 ● Denotes depth of fill

Scale 1:250

A	Original Issue	BRJ	26/02/2025
Issue	Revision	Int	Date



Title:

Disclosure Plan for Proposed Lot 7021

7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

ID WALLOON
DEVELOPMENTS PTY LTD

Locality: WALLOON

Local Gov: ICC Prepared By: BRJ

Surveyed By: Approved: MJT

Date Created: 26/02/2025 Scale: 1:250

Comp File: 220149.project

Plan No: 220149_002_DIS



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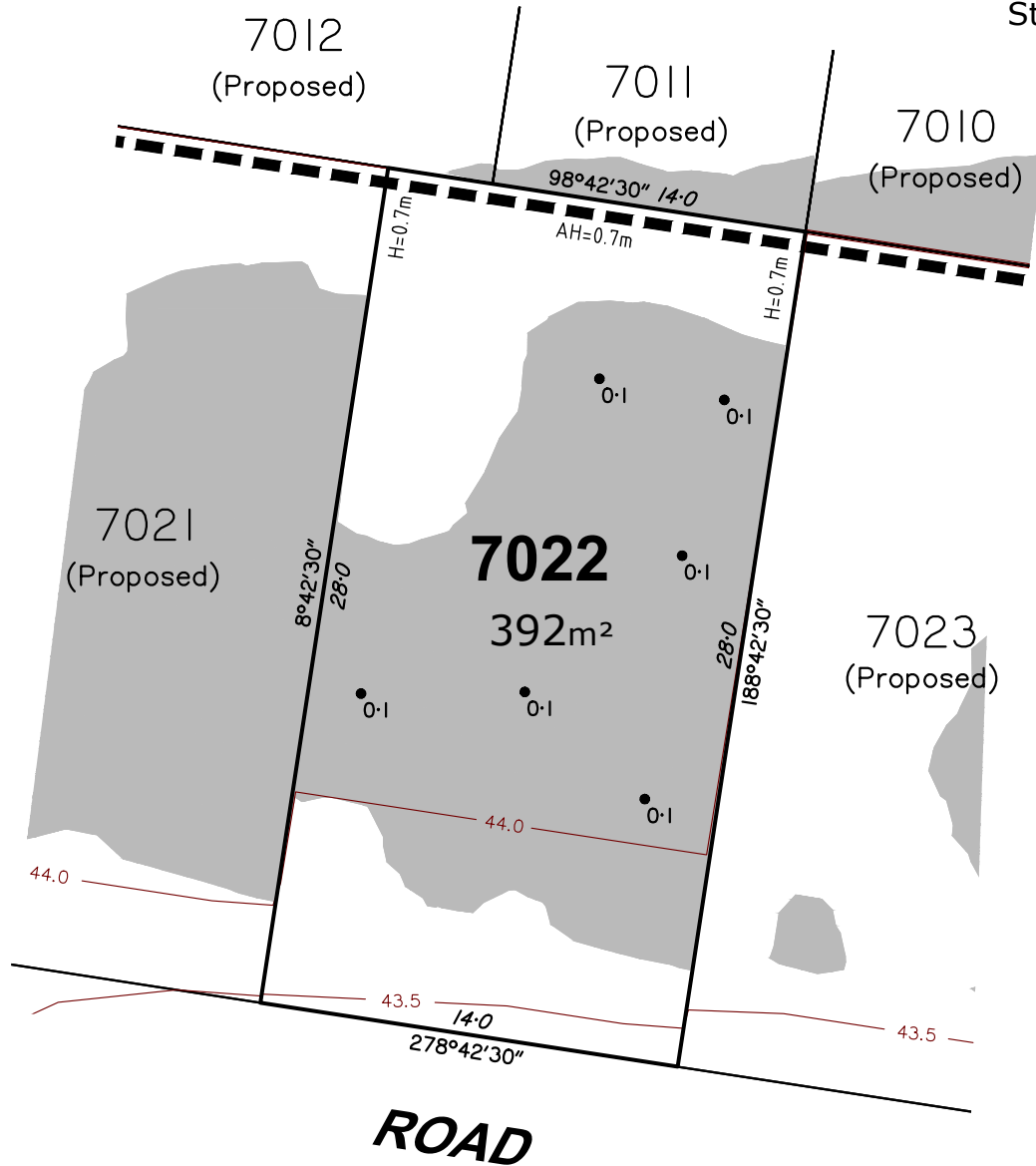
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Lot 7022

Stage 7



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM193875, RL 46.405m AHD.
3. Contour Interval : 0.5m Design.
4. Retaining wall heights are shown at the base of the wall.
5. All dimensions and areas are subject to final survey and approval by ICC.
6. This plan has been prepared for disclosure under the Land Sales Act 1984.
7. This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose.
8. This plan shows details of Proposed Lot 7022 on proposal plan 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions.
9. The compaction of earth fill will be undertaken as advised by EGIS and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

Approximate Fill Area

24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 24-000435 provided by Egis.

H=0.7m
 AH=0.7m
Denotes retaining wall height (H)
Denotes retaining wall average height (AH)

I-0 ● Denotes depth of fill

Scale 1:250



A	Original Issue	BRJ	26/02/2025
Issue	Revision	Int	Date

Title:

Disclosure Plan for Proposed Lot 7022

7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**ID WALLOON
DEVELOPMENTS PTY LTD**

Locality: WALLOON

Local Gov: ICC Prepared By: BRJ

Surveyed By: Approved: MJT

Date Created: 26/02/2025 Scale: 1:250

Comp File: 220149.project

Plan No: 220149_002_DIS



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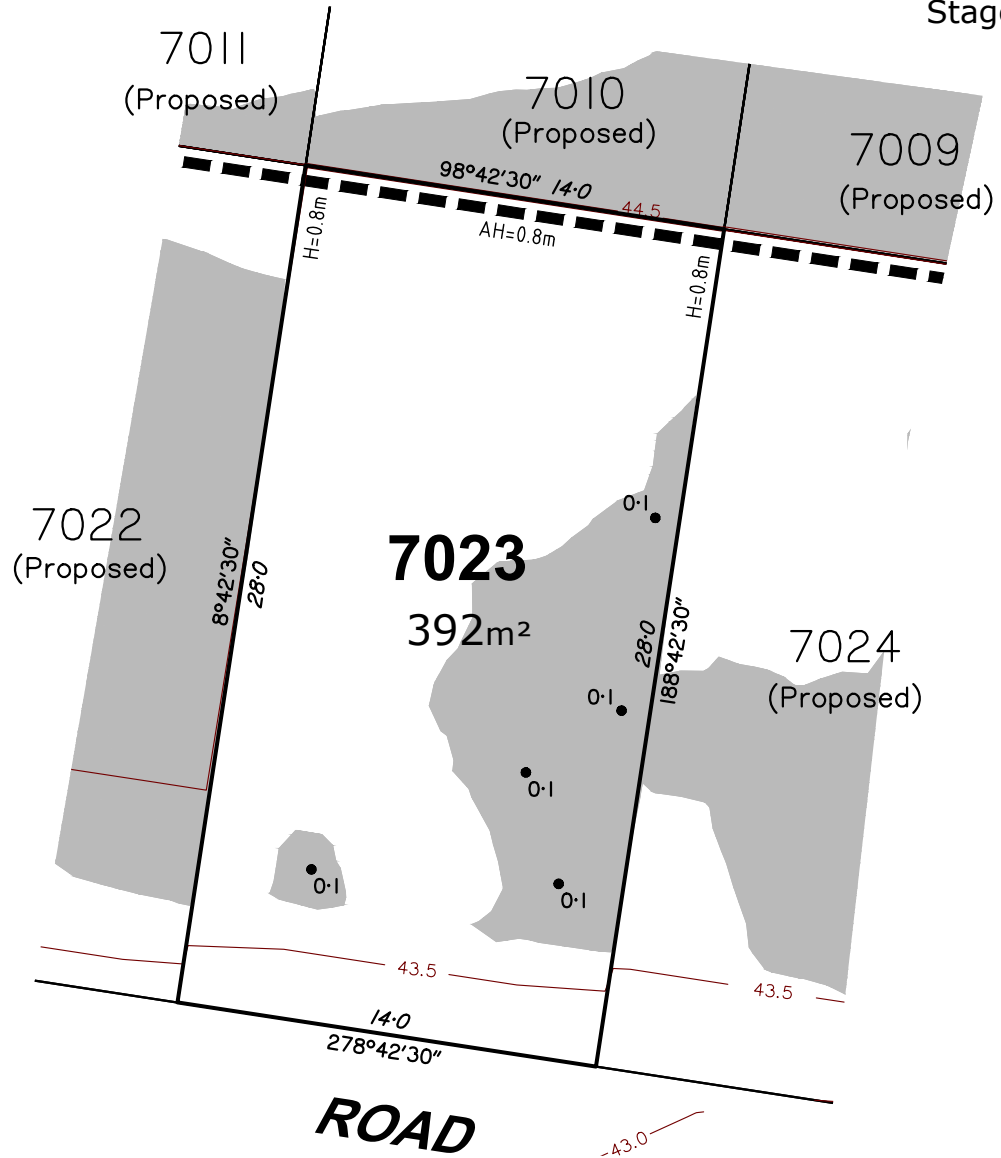
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Lot 7023

Stage 7



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM193875, RL 46.405m AHD.
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6. This plan has been prepared for disclosure under the Land Sales Act 1984.
7. This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose.
8. This plan shows details of Proposed Lot 7023 on proposal plan 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions.
9. The compaction of earth fill will be undertaken as advised by EGIS and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

Approximate Fill Area

— 24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 24-000435 provided by Egis.

H=0.7m

AH=0.7m

Denotes retaining wall height (H)

Denotes retaining wall average height (AH)

I-0 ● Denotes depth of fill

Scale 1:250

A	Original Issue	BRJ	26/02/2025
Issue	Revision	Int	Date



Title:

Disclosure Plan for Proposed Lot 7023

7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

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Client:

ID WALLOON DEVELOPMENTS PTY LTD

Locality: WALLOON

Local Gov: ICC

Prepared By: BRJ

Surveyed By:

Approved: MJT

Date Created: 26/02/2025

Scale: 1:250

Comp File: 220149.project

Plan No: 220149_002_DIS



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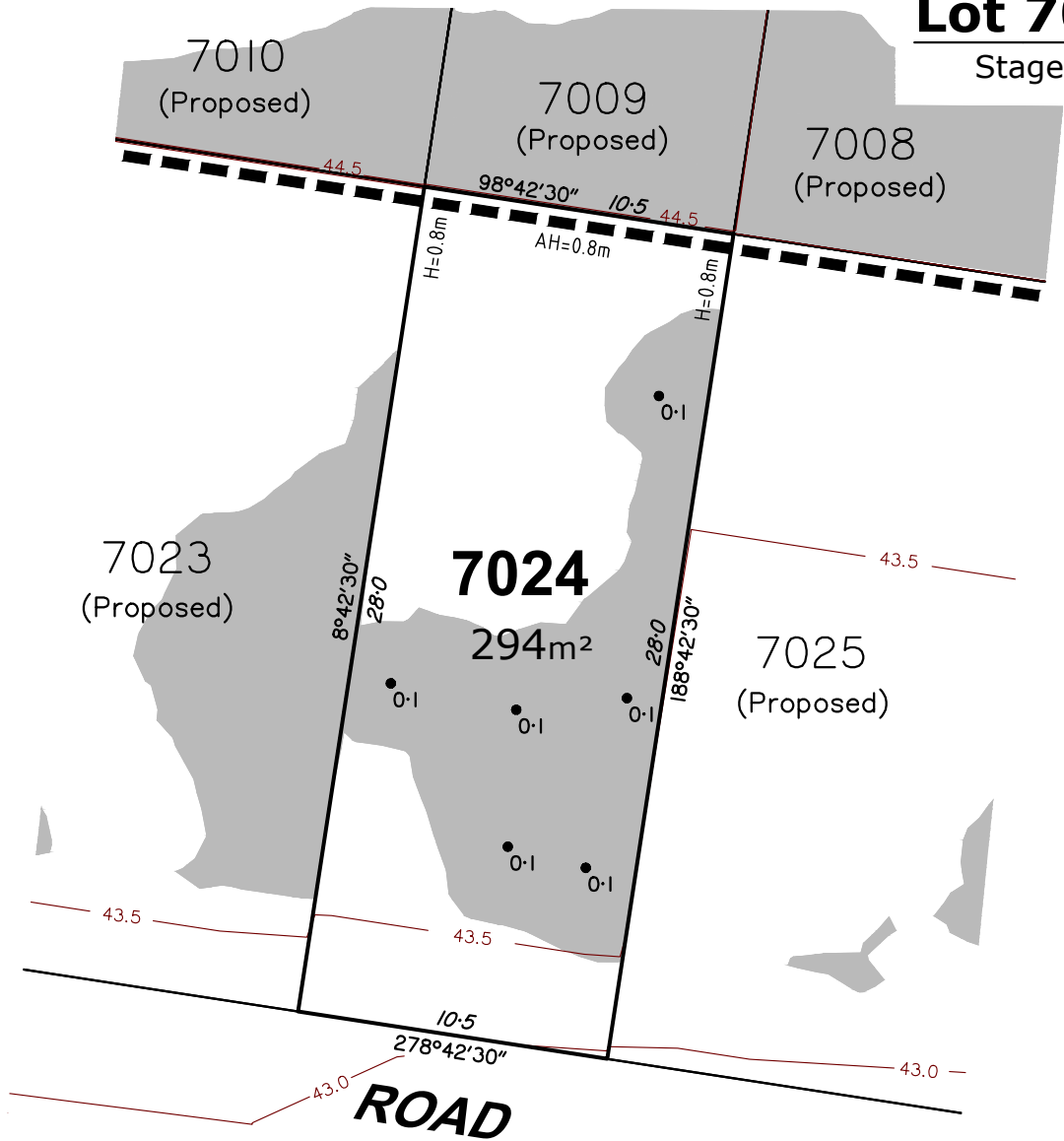
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Lot 7024

Stage 7



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM193875, RL 46.405m AHD.
3. Contour Interval : 0.5m Design.
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5. All dimensions and areas are subject to final survey and approval by ICC.
6. This plan has been prepared for disclosure under the Land Sales Act 1984.
7. This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose.
8. This plan shows details of Proposed Lot 7024 on proposal plan 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions.
9. The compaction of earth fill will be undertaken as advised by EGIS and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

Approximate Fill Area

24 Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 24-000435 provided by Egis.

H=0.7m
AH=0.7m
Denotes retaining wall height (H)
Denotes retaining wall average height (AH)
I-0 ● Denotes depth of fill

Scale 1:250



A	Original Issue	BRJ	26/02/2025
Issue	Revision	Int	Date

Title:

Disclosure Plan for Proposed Lot 7024

7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

ID WALLOON
DEVELOPMENTS PTY LTD

Locality: WALLOON

Local Gov: ICC Prepared By: BRJ

Surveyed By: Approved: MJT

Date Created: 26/02/2025 Scale: 1:250

Comp File: 220149.project

Plan No: 220149_002_DIS



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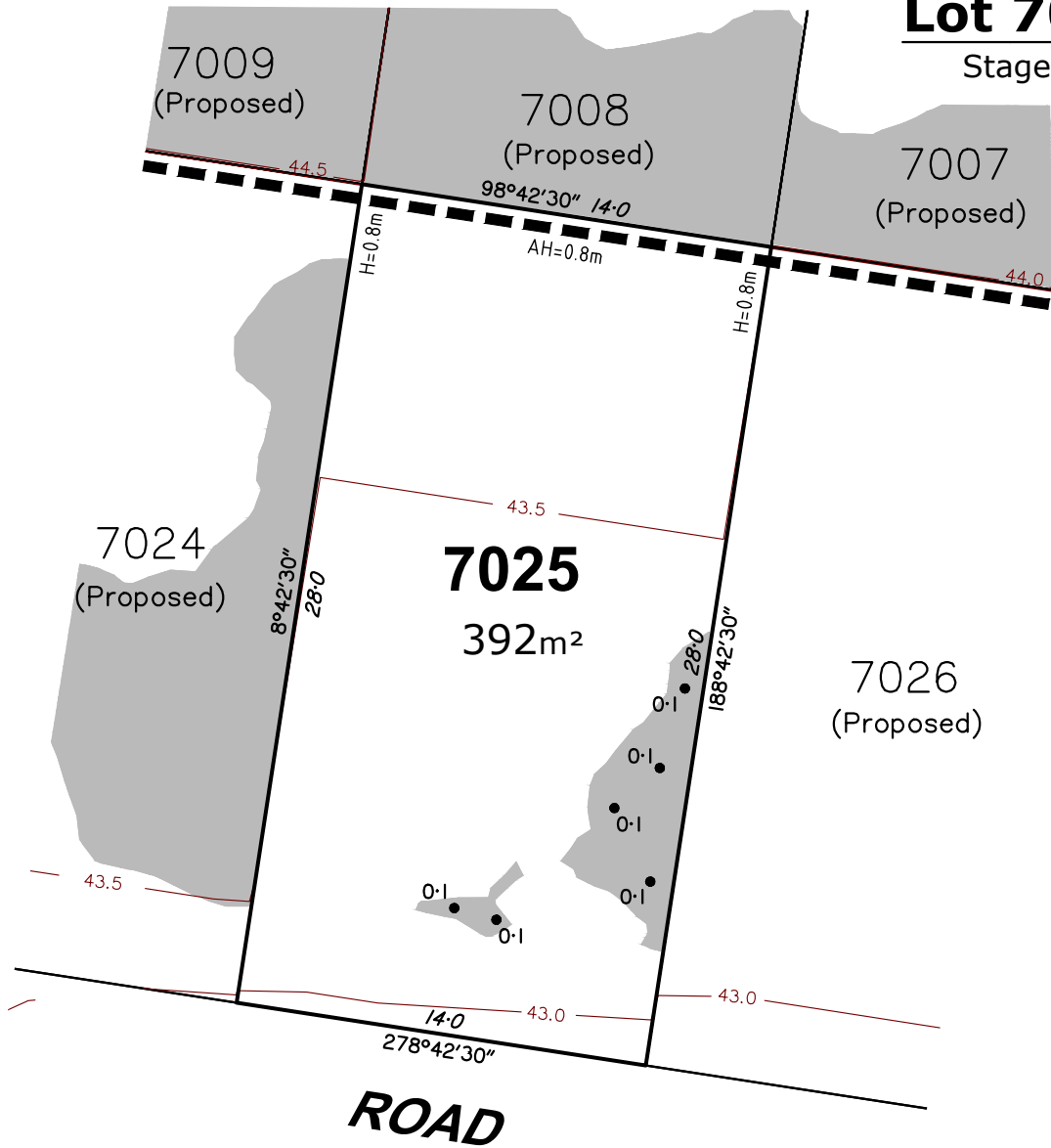
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Lot 7025

Stage 7



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM193875, RL 46.405m AHD.
3. Contour Interval : 0.5m Design.
4. Retaining wall heights are shown at the base of the wall.
5. All dimensions and areas are subject to final survey and approval by ICC.
6. This plan has been prepared for disclosure under the Land Sales Act 1984.
7. This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose.
8. This plan shows details of Proposed Lot 7025 on proposal plan 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions.
9. The compaction of earth fill will be undertaken as advised by EGIS and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

Approximate Fill Area

24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 24-000435 provided by Egis.

H=0.7m
Denotes retaining wall height (H)

AH=0.7m
Denotes retaining wall average height (AH)

1.0 ● Denotes depth of fill

Scale 1:250



A	Original Issue	BRJ	26/02/2025
Issue	Revision	Int	Date

Title:

Disclosure Plan for Proposed Lot 7025

7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**ID WALLOON
DEVELOPMENTS PTY LTD**

Locality: WALLOON

Local Gov: ICC Prepared By: BRJ

Surveyed By: Approved: MJT

Date Created: 26/02/2025 Scale: 1:250

Comp File: 220149.project

Plan No: 220149_002_DIS



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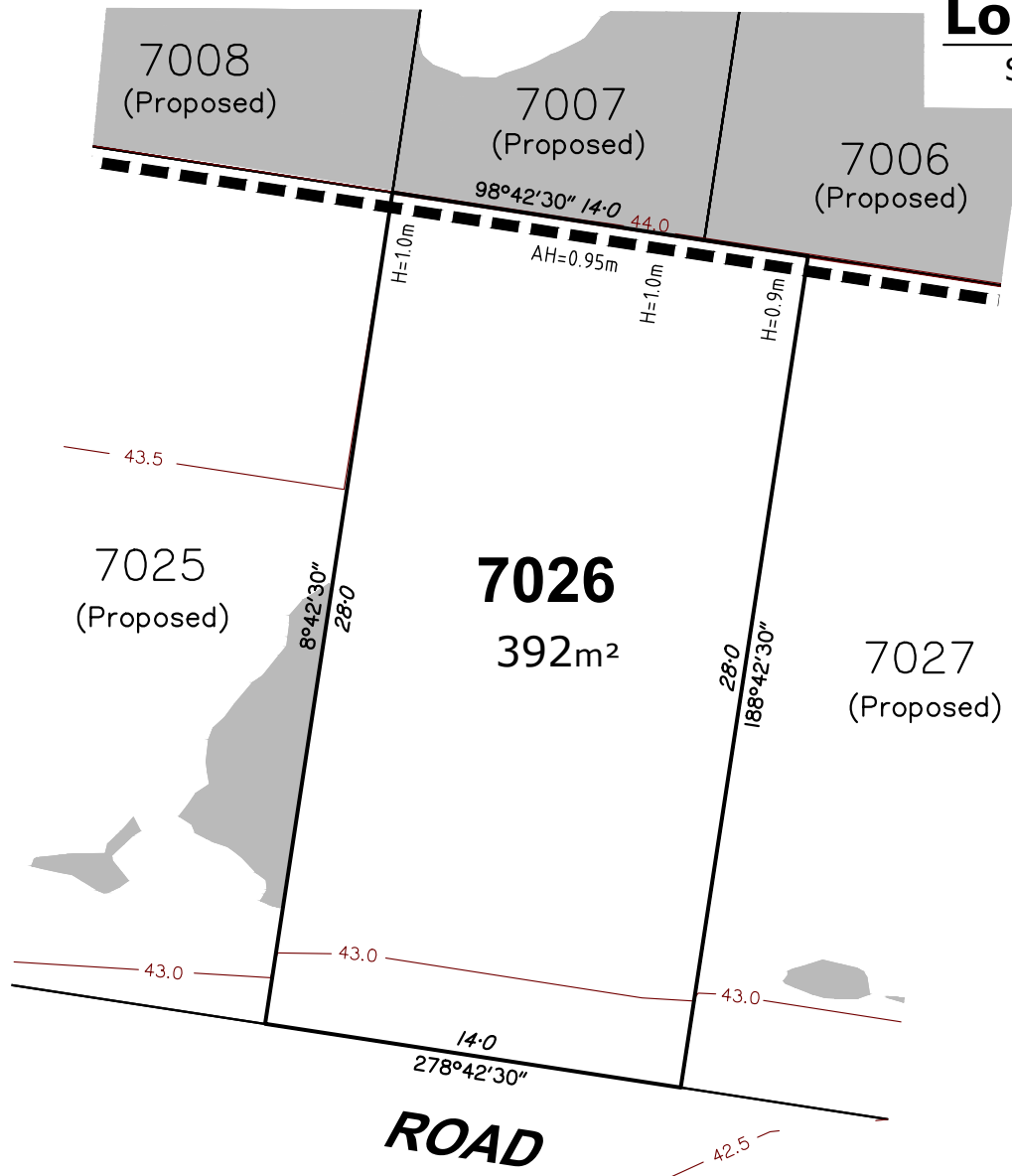
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Lot 7026

Stage 7



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM193875, RL 46.405m AHD.
3. Contour Interval : 0.5m Design.
4. Retaining wall heights are shown at the base of the wall.
5. All dimensions and areas are subject to final survey and approval by ICC.
6. This plan has been prepared for disclosure under the Land Sales Act 1984.
7. This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose.
8. This plan shows details of Proposed Lot 7026 on proposal plan 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions.
9. The compaction of earth fill will be undertaken as advised by EGIS and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

Approximate Fill Area

24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 24-000435 provided by Egis.

H=0.7m
Denotes retaining wall height (H)

AH=0.7m
Denotes retaining wall average height (AH)

I-0 ● Denotes depth of fill

Scale 1:250



A	Original Issue	BRJ	26/02/2025
Issue	Revision	Int	Date

Title:

Disclosure Plan for Proposed Lot 7026

7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**ID WALLOON
DEVELOPMENTS PTY LTD**

Locality: WALLOON

Local Gov: ICC Prepared By: BRJ

Surveyed By: Approved: MJT

Date Created: 26/02/2025 Scale: 1:250

Comp File: 220149.project

Plan No: 220149_002_DIS



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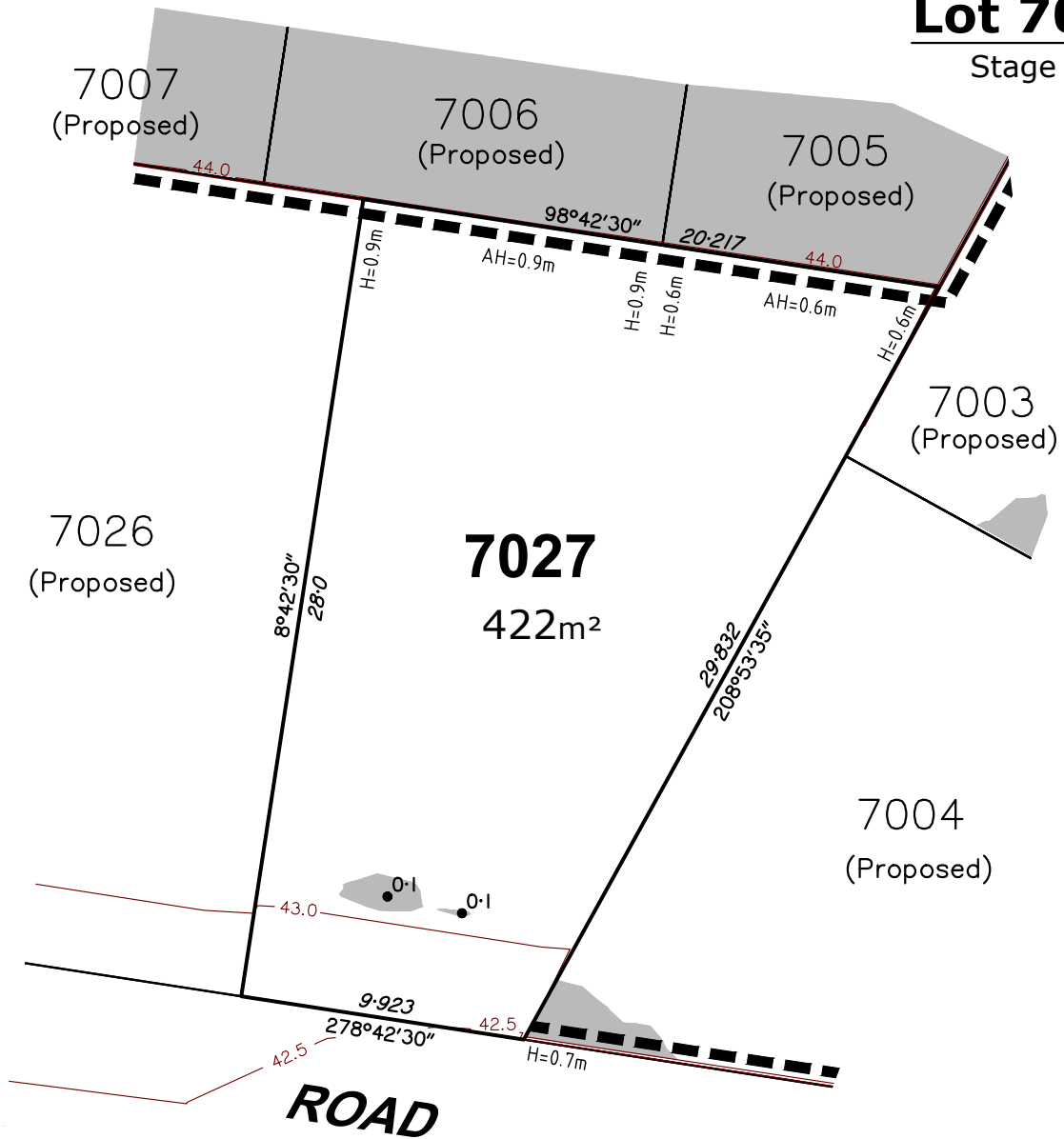
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Lot 7027

Stage 7



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM193875, RL 46.405m AHD.
3. Contour Interval : 0.5m Design.
4. Retaining wall heights are shown at the base of the wall.
5. All dimensions and areas are subject to final survey and approval by ICC.
6. This plan has been prepared for disclosure under the Land Sales Act 1984.
7. This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose.
8. This plan shows details of Proposed Lot 7027 on proposal plan 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions.
9. The compaction of earth fill will be undertaken as advised by EGIS and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

Approximate Fill Area

— 24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 24-000435 provided by Egis.

H=0.7m
AH=0.7m
I-0 ● Denotes depth of fill

Scale 1:250

A	Original Issue	BRJ	26/02/2025
Issue	Revision	Int	Date



Title:

Disclosure Plan for Proposed Lot 7027

7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

ID WALLOON DEVELOPMENTS PTY LTD

Locality: WALLOON

Local Gov: ICC Prepared By: BRJ

Surveyed By: Approved: MJT

Date Created: 26/02/2025 Scale: 1:250

Comp File: 220149.project

Plan No: 220149_002_DIS



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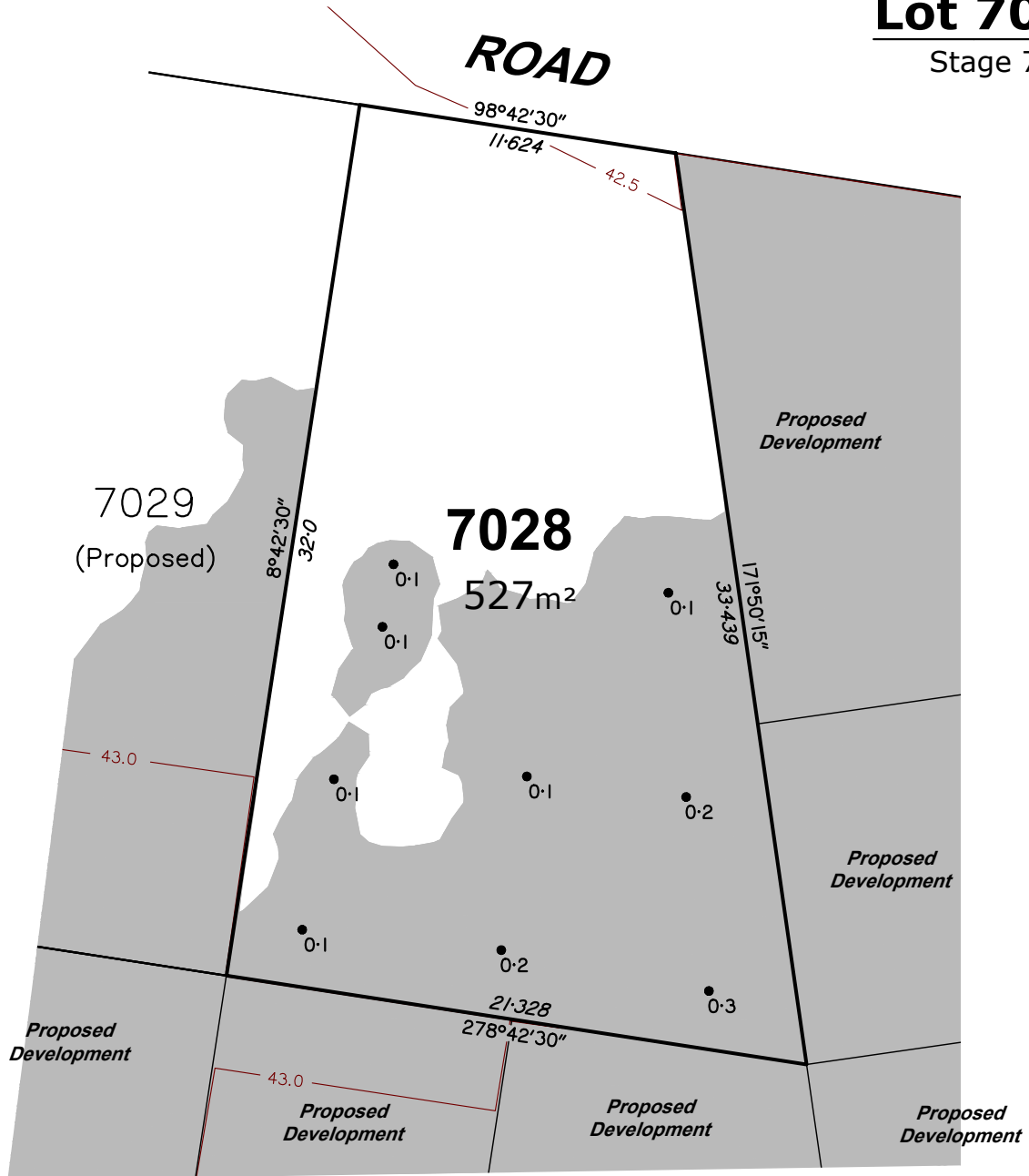
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Lot 7028

Stage 7



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM193875, RL 46.405m AHD.
3. Contour Interval : 0.5m Design.
4. Retaining wall heights are shown at the base of the wall.
5. All dimensions and areas are subject to final survey and approval by ICC.
6. This plan has been prepared for disclosure under the Land Sales Act 1984.
7. This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose.
8. This plan shows details of Proposed Lot 7028 on proposal plan 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions.
9. The compaction of earth fill will be undertaken as advised by EGIS and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

Approximate Fill Area

24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 24-000435 provided by Egis.

H=0.7m
 AH=0.7m

Denotes retaining wall height (H)
Denotes retaining wall average height (AH)

I-0 ● Denotes depth of fill

Scale 1:250



A	Original Issue	BRJ	26/02/2025
Issue	Revision	Int	Date

Title:

Disclosure Plan for Proposed Lot 7028

7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**ID WALLOON
DEVELOPMENTS PTY LTD**

Locality: WALLOON

Local Gov: ICC Prepared By: BRJ

Surveyed By: Approved: MJT

Date Created: 26/02/2025 Scale: 1:250

Comp File: 220149.project

Plan No: 220149_002_DIS



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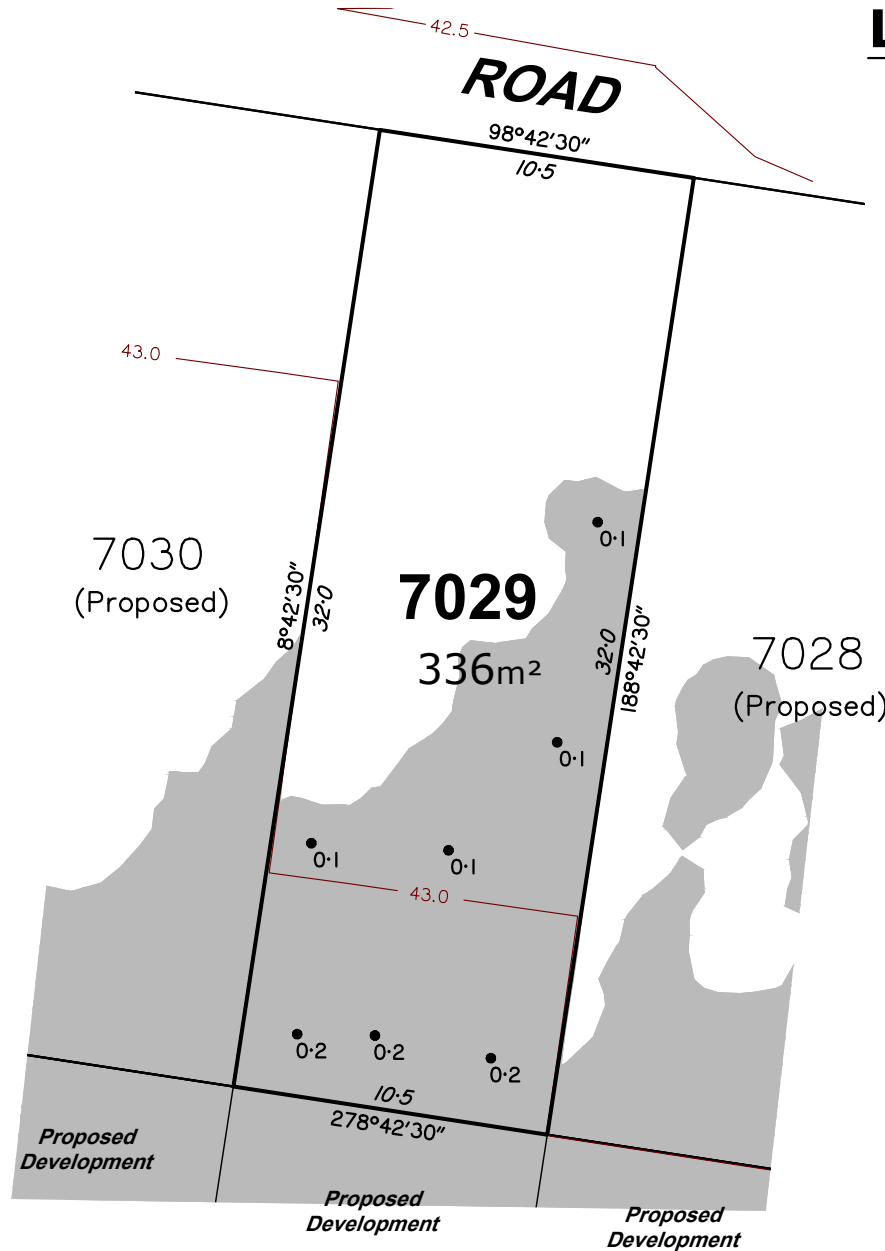
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Lot 7029

Stage 7



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM193875, RL 46.405m AHD.
3. Contour Interval : 0.5m Design.
4. Retaining wall heights are shown at the base of the wall.
5. All dimensions and areas are subject to final survey and approval by ICC.
6. This plan has been prepared for disclosure under the Land Sales Act 1984.
7. This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose.
8. This plan shows details of Proposed Lot 7029 on proposal plan 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions.
9. The compaction of earth fill will be undertaken as advised by EGIS and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

Approximate Fill Area

24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 24-000435 provided by Egis.

H=0.7m
Denotes retaining wall height (H)
 AH=0.7m
Denotes retaining wall average height (AH)
 I-0 ● Denotes depth of fill

Scale 1:250



A	Original Issue	BRJ	26/02/2025
Issue	Revision	Int	Date

Title:

Disclosure Plan for Proposed Lot 7029

7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

ID WALLOON DEVELOPMENTS PTY LTD

Locality: WALLOON

Local Gov: ICC

Prepared By: BRJ

Surveyed By:

Approved: MJT

Date Created: 26/02/2025

Scale: 1:250

Comp File: 220149.project

Plan No: 220149_002_DIS



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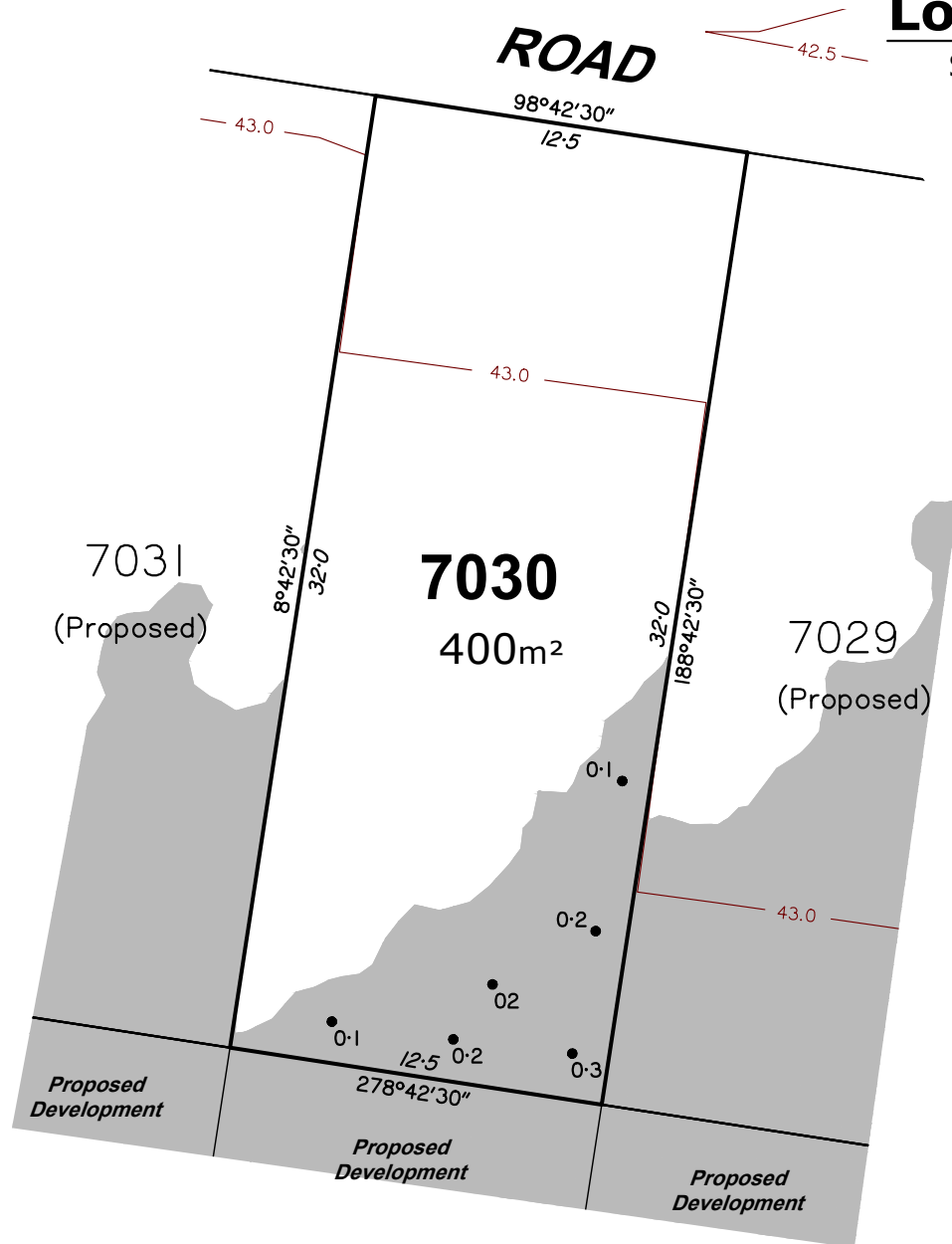
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Notes:

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5. All dimensions and areas are subject to final survey and approval by ICC.
6. This plan has been prepared for disclosure under the Land Sales Act 1984.
7. This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose.
8. This plan shows details of Proposed Lot 7030 on proposal plan 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions.
9. The compaction of earth fill will be undertaken as advised by EGIS and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

Approximate Fill Area

24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 24-000435 provided by Egis.

 H=0.7m
Denotes retaining wall height (H) AH=0.7m
Denotes retaining wall average height (AH)

I-0 ● Denotes depth of fill

Scale 1:250

A	Original Issue	BRJ	26/02/2025
Issue	Revision	Int	Date



Title:

**Disclosure Plan for
Proposed Lot 7030**

7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**ID WALLOON
DEVELOPMENTS PTY LTD**

Locality: WALLOON

Local Gov: ICC Prepared By: BRJ

Surveyed By: Approved: MJT

Date Created: 26/02/2025 Scale: 1:250

Comp File: 220149.project

Plan No: 220149_002_DIS



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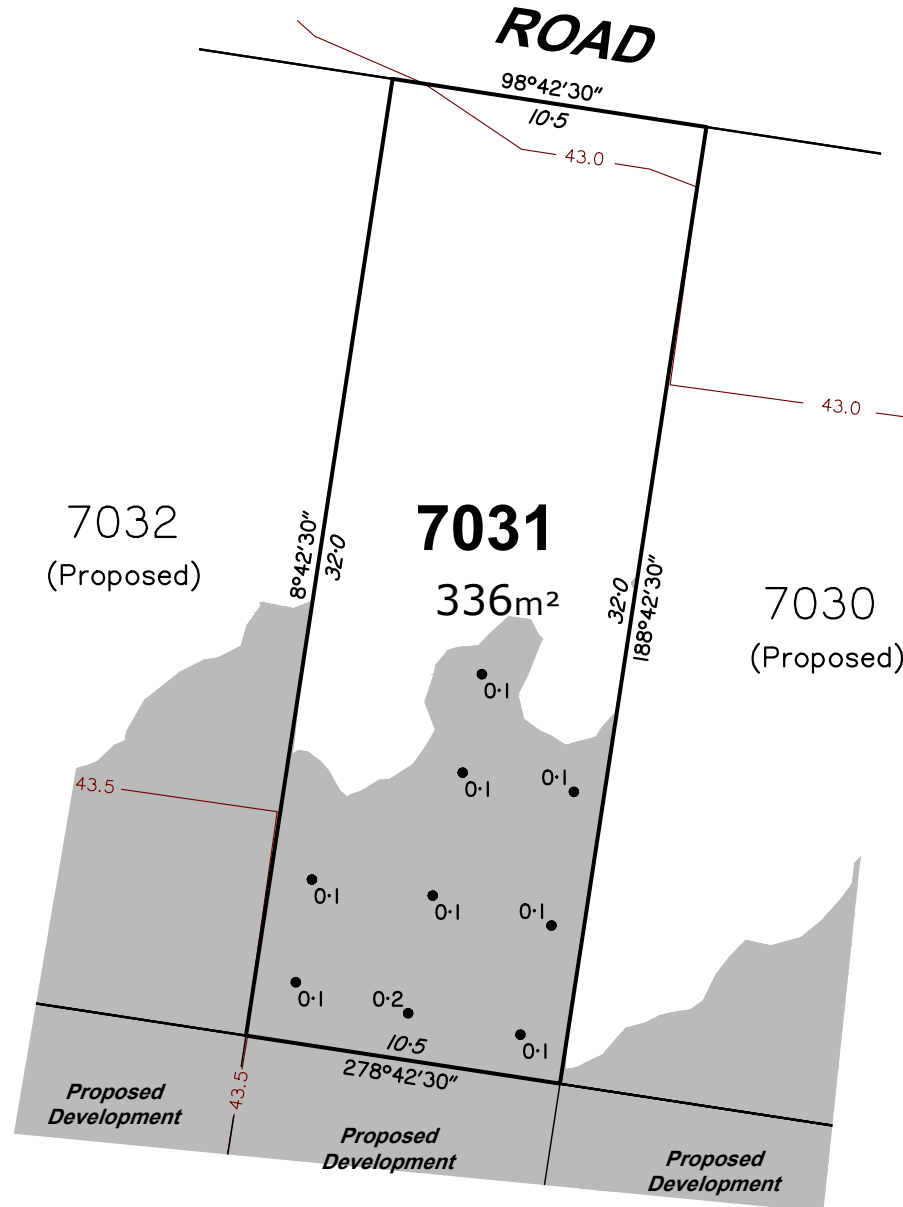
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Lot 7031

Stage 7



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM193875, RL 46.405m AHD.
3. Contour Interval : 0.5m Design.
4. Retaining wall heights are shown at the base of the wall.
5. All dimensions and areas are subject to final survey and approval by ICC.
6. This plan has been prepared for disclosure under the Land Sales Act 1984.
7. This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose.
8. This plan shows details of Proposed Lot 7031 on proposal plan 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions.
9. The compaction of earth fill will be undertaken as advised by EGIS and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

Approximate Fill Area

— 24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 24-000435 provided by Egis.

H=0.7m
Denotes retaining wall height (H)

AH=0.7m
Denotes retaining wall average height (AH)

I-0 ● Denotes depth of fill

Scale 1:250



A	Original Issue	BRJ	26/02/2025
Issue	Revision	Int	Date

Title:

Disclosure Plan for Proposed Lot 7031

7001 Taylors Road, Walloon,
Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**ID WALLOON
DEVELOPMENTS PTY LTD**

Locality: WALLOON

Local Gov: ICC Prepared By: BRJ

Surveyed By: Approved: MJT

Date Created: 26/02/2025 Scale: 1:250

Comp File: 220149.project

Plan No: 220149_002_DIS



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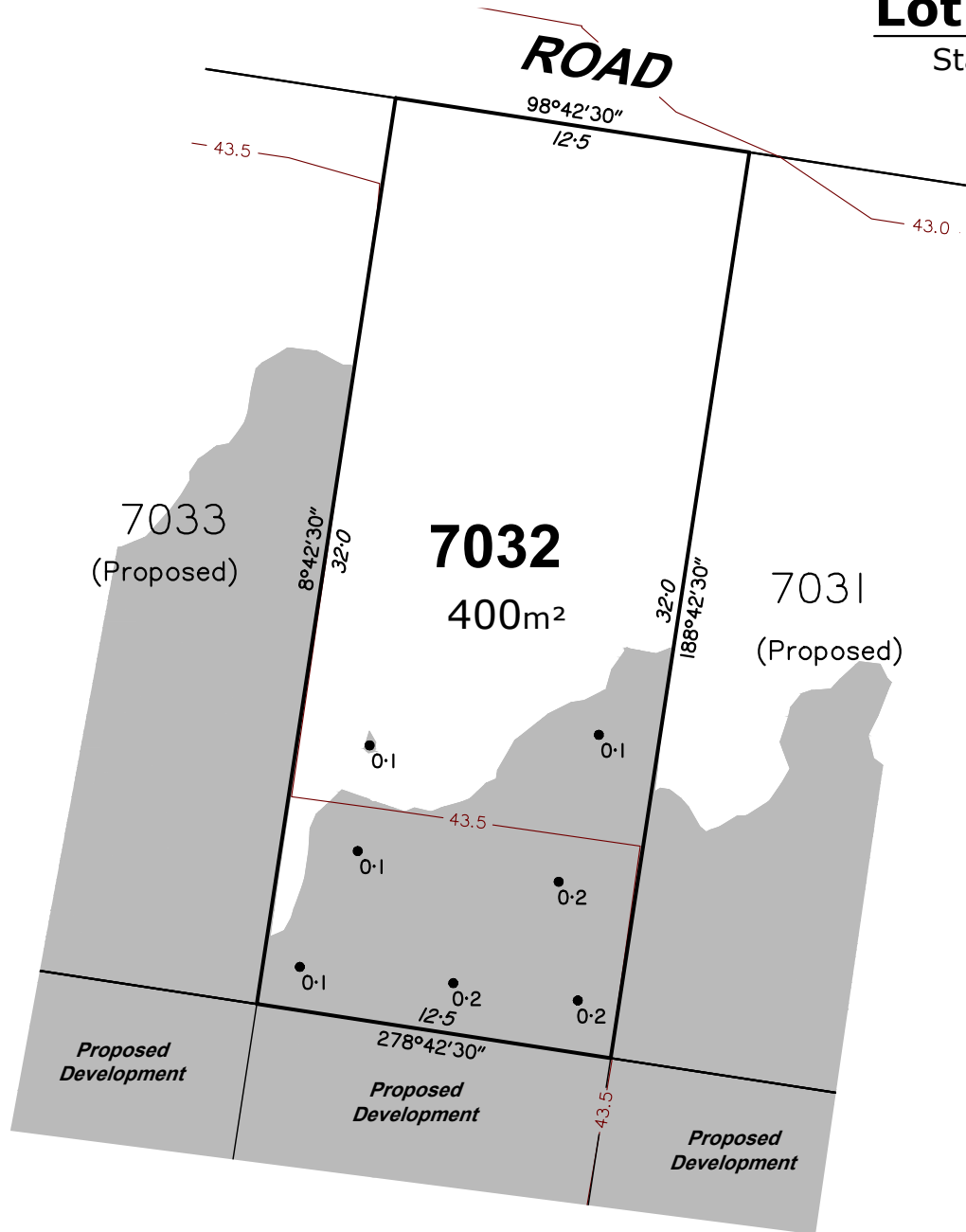
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Lot 7032

Stage 7



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM193875, RL 46.405m AHD.
3. Contour Interval : 0.5m Design.
4. Retaining wall heights are shown at the base of the wall.
5. All dimensions and areas are subject to final survey and approval by ICC.
6. This plan has been prepared for disclosure under the Land Sales Act 1984.
7. This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose.
8. This plan shows details of Proposed Lot 7032 on proposal plan 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions.
9. The compaction of earth fill will be undertaken as advised by EGIS and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

Approximate Fill Area

24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 24-000435 provided by Egis.

H=0.7m
 AH=0.7m

Denotes retaining wall height (H)
Denotes retaining wall average height (AH)

I-0 ● Denotes depth of fill

Scale 1:250



A	Original Issue	BRJ	26/02/2025
Issue	Revision	Int	Date

Title:

Disclosure Plan for Proposed Lot 7032

7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**ID WALLOON
DEVELOPMENTS PTY LTD**

Locality: WALLOON

Local Gov: ICC Prepared By: BRJ

Surveyed By: Approved: MJT

Date Created: 26/02/2025 Scale: 1:250

Comp File: 220149.project

Plan No: 220149_002_DIS

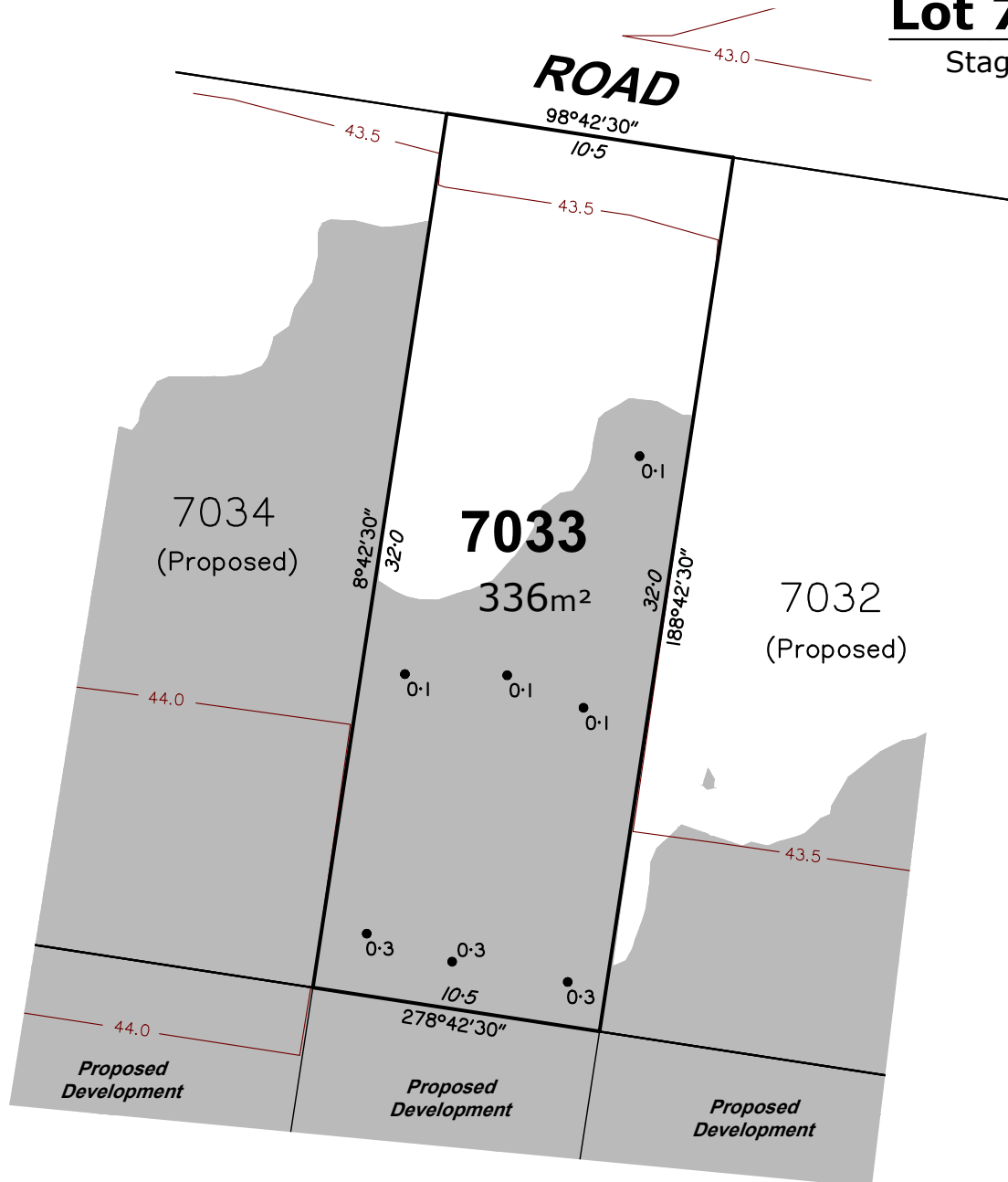


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Notes:

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6. This plan has been prepared for disclosure under the Land Sales Act 1984.
7. This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose.
8. This plan shows details of Proposed Lot 7033 on proposal plan 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions.
9. The compaction of earth fill will be undertaken as advised by EGIS and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

Approximate Fill Area

24 Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 24-000435 provided by Egis.

 H=0.7m
Denotes retaining wall height (H) AH=0.7m
Denotes retaining wall average height (AH) I=0
Denotes depth of fill

Scale 1:250

A	Original Issue	BRJ	26/02/2025
Issue	Revision	Int	Date



Title:

**Disclosure Plan for
Proposed Lot 7033**

7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**ID WALLOON
DEVELOPMENTS PTY LTD**

Locality: WALLOON

Local Gov: ICC Prepared By: BRJ

Surveyed By: Approved: MJT

Date Created: 26/02/2025 Scale: 1:250

Comp File: 220149.project

Plan No: 220149_002_DIS



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Ph: (07) 5631 8000

mail@bennettandbennett.com.au

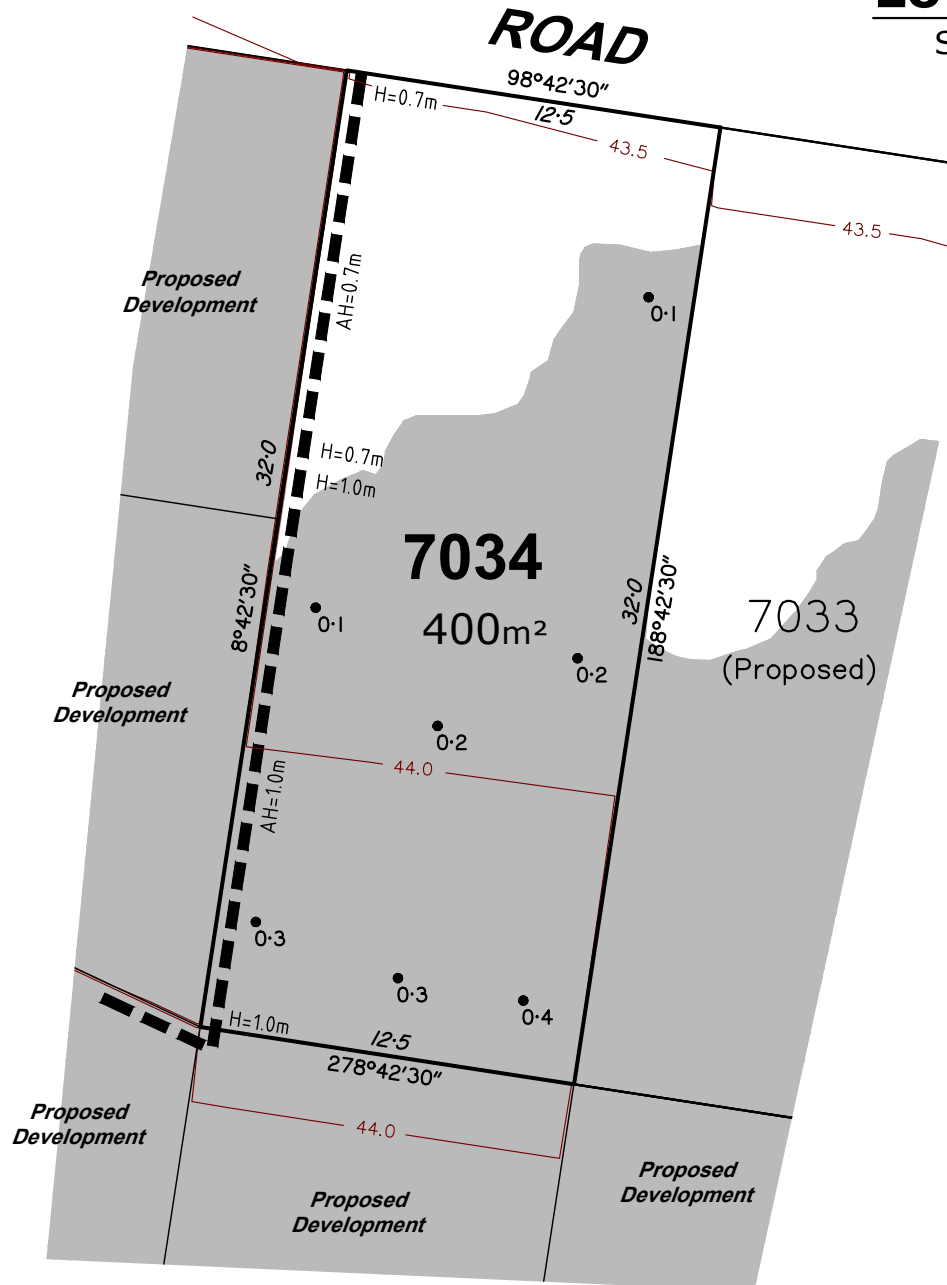
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Lot 7034

Stage 7



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM193875, RL 46.405m AHD.
3. Contour Interval : 0.5m Design.
4. Retaining wall heights are shown at the base of the wall.
5. All dimensions and areas are subject to final survey and approval by ICC.
6. This plan has been prepared for disclosure under the Land Sales Act 1984.
7. This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose.
8. This plan shows details of Proposed Lot 7034 on proposal plan 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions.
9. The compaction of earth fill will be undertaken as advised by EGIS and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

Approximate Fill Area

24 Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 24-000435 provided by Egis.

H=0.7m
AH=0.7m
Denotes retaining wall height (H)
Denotes retaining wall average height (AH)
I-0 ● Denotes depth of fill

Scale 1:250

A	Original Issue	BRJ	26/02/2025
Issue	Revision	Int	Date



Title:

Disclosure Plan for Proposed Lot 7034

7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**ID WALLOON
DEVELOPMENTS PTY LTD**

Locality: WALLOON

Local Gov: ICC

Prepared By: BRJ

Surveyed By:

Approved: MJT

Date Created: 26/02/2025

Scale: 1:250

Comp File: 220149.project

Plan No: 220149_002_DIS



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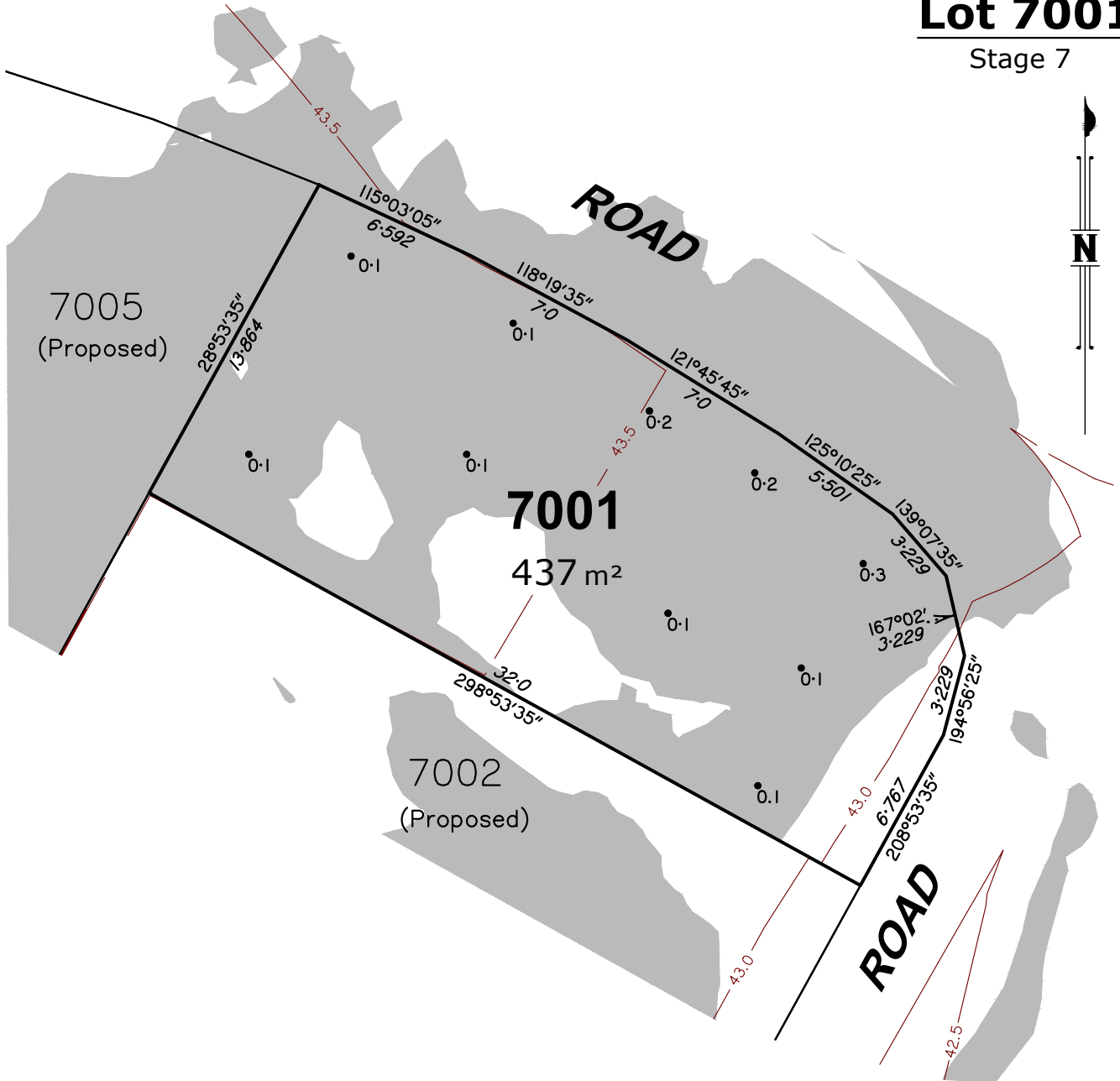
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Lot 7001

Stage 7



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM193875, RL 46.405m AHD.
3. Contour Interval : 0.5m Design.
4. Retaining wall heights are shown at the base of the wall.
5. All dimensions and areas are subject to final survey and approval by ICC.
6. This plan has been prepared for disclosure under the Land Sales Act 1984.
7. This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose.
8. This plan shows details of Proposed Lot 7001 on proposal plan 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions.
9. The compaction of earth fill will be undertaken as advised by EGIS and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

Approximate Fill Area

24 Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 24-000435 provided by Egis.

Denotes retaining wall height (H)

Denotes retaining wall average height (AH)

I-0 Denotes depth of fill

Scale 1:250



A	Original Issue	BRJ	26/02/2025
Issue	Revision	Int	Date

Title:

Disclosure Plan for Proposed Lot 7001

7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**ID WALLOON
DEVELOPMENTS PTY LTD**

Locality: WALLOON

Local Gov: ICC Prepared By: BRJ

Surveyed By: Approved: MJT

Date Created: 26/02/2025 Scale: 1:250

Comp File: 220149.project

Plan No: 220149_002_DIS



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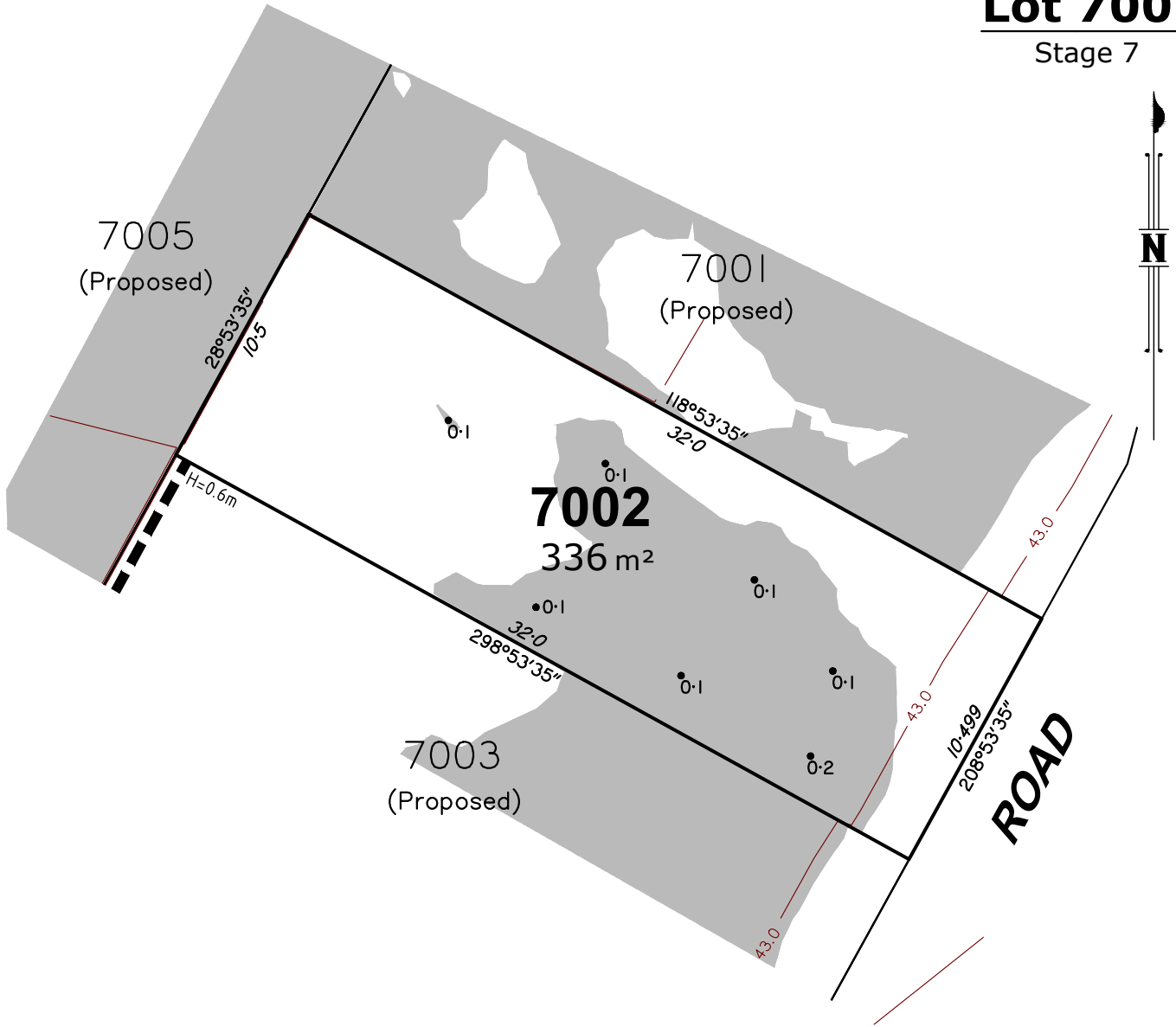
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Lot 7002

Stage 7



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM193875, RL 46.405m AHD.
3. Contour Interval : 0.5m Design.
4. Retaining wall heights are shown at the base of the wall.
5. All dimensions and areas are subject to final survey and approval by ICC.
6. This plan has been prepared for disclosure under the Land Sales Act 1984.
7. This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose.
8. This plan shows details of Proposed Lot 7002 on proposal plan 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions.
9. The compaction of earth fill will be undertaken as advised by EGIS and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

Approximate Fill Area

24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 24-000435 provided by Egis.

H=0.7m
 AH=0.7m
Denotes retaining wall height (H)
Denotes retaining wall average height (AH)
 I-0 ● Denotes depth of fill

Scale 1:250



A	Original Issue	BRJ	26/02/2025
Issue	Revision	Int	Date

Title:

Disclosure Plan for Proposed Lot 7002

7001 Taylors Road, Walloon,
Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**ID WALLOON
DEVELOPMENTS PTY LTD**

Locality: WALLOON

Local Gov: ICC Prepared By: BRJ

Surveyed By: Approved: MJT

Date Created: 26/02/2025 Scale: 1:250

Comp File: 220149.project

Plan No: 220149_002_DIS



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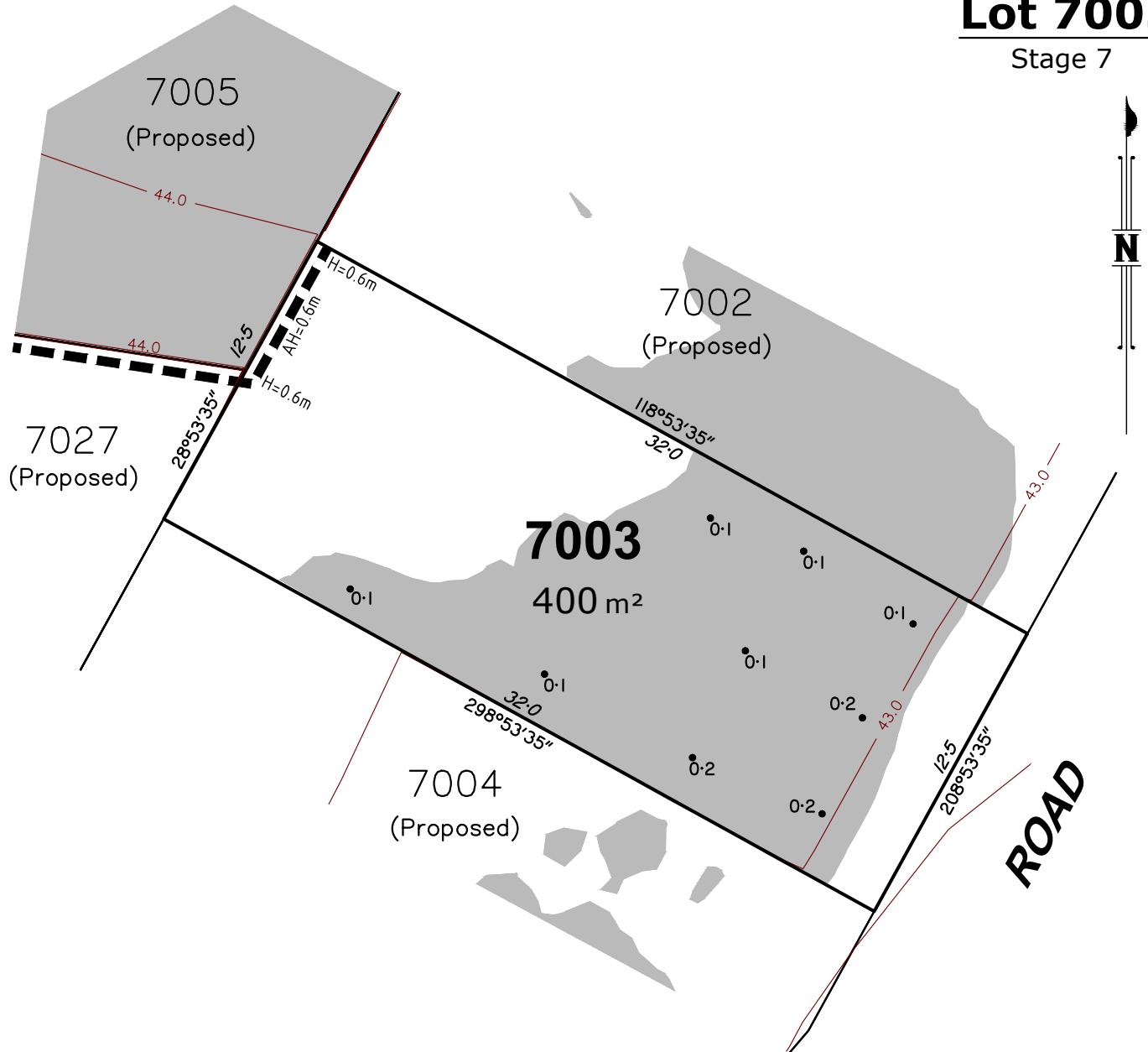
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Lot 7003

Stage 7



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM193875, RL 46.405m AHD.
3. Contour Interval : 0.5m Design.
4. Retaining wall heights are shown at the base of the wall.
5. All dimensions and areas are subject to final survey and approval by ICC.
6. This plan has been prepared for disclosure under the Land Sales Act 1984.
7. This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose.
8. This plan shows details of Proposed Lot 7003 on proposal plan 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions.
9. The compaction of earth fill will be undertaken as advised by EGIS and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

Approximate Fill Area

— 24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 24-000435 provided by Egis.

H=0.7m
AH=0.7m
Denotes retaining wall height (H)
Denotes retaining wall average height (AH)
I-0 ● Denotes depth of fill

Scale 1:250



A	Original Issue	BRJ	26/02/2025
Issue	Revision	Int	Date

Title:

Disclosure Plan for Proposed Lot 7003

7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

ID WALLOON DEVELOPMENTS PTY LTD

Locality: WALLOON

Local Gov: ICC Prepared By: BRJ

Surveyed By: Approved: MJT

Date Created: 26/02/2025 Scale: 1:250

Comp File: 220149.project

Plan No: 220149_002_DIS



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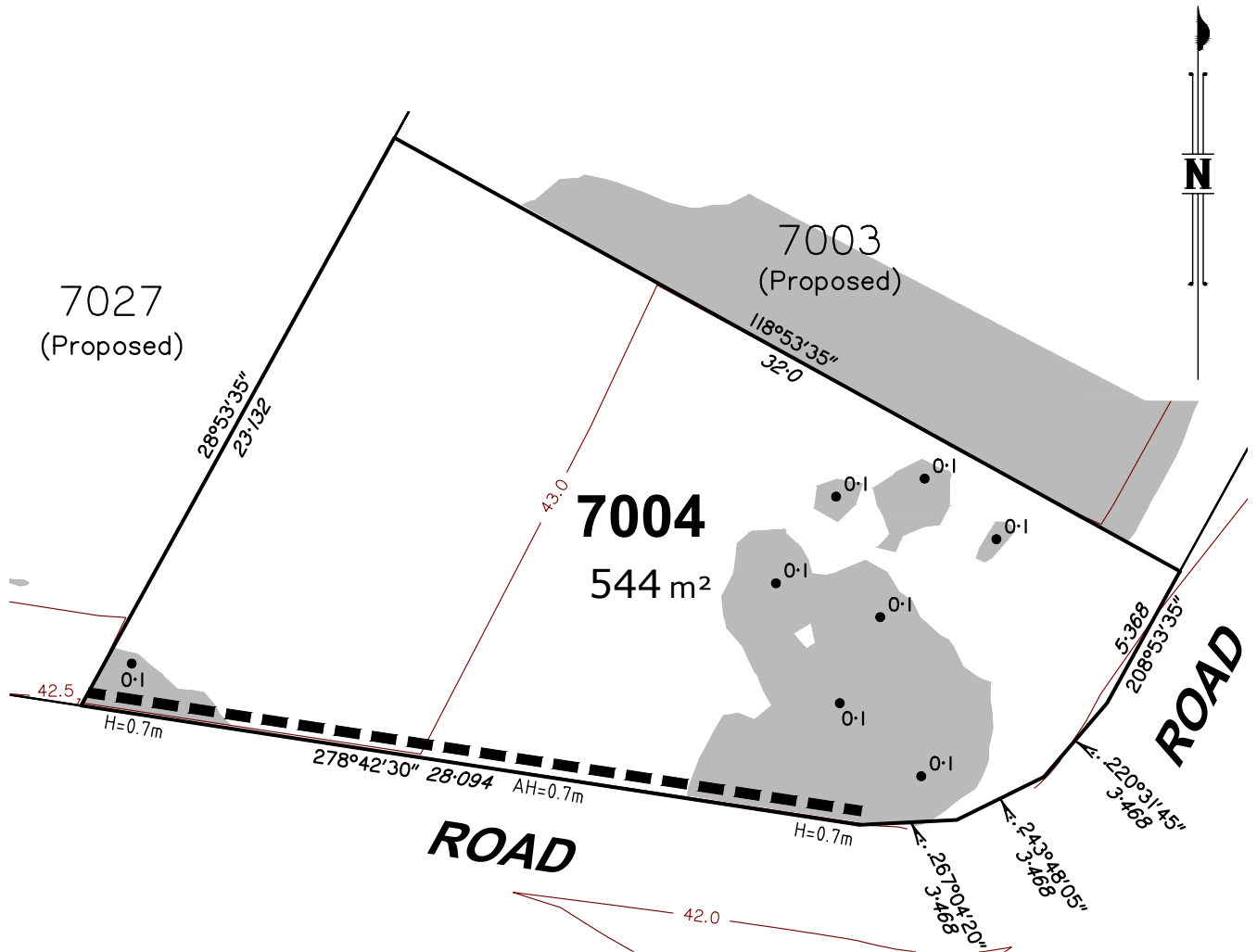
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Lot 7004

Stage 7



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM193875, RL 46.405m AHD.
3. Contour Interval : 0.5m Design.
4. Retaining wall heights are shown at the base of the wall.
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6. This plan has been prepared for disclosure under the Land Sales Act 1984.
7. This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose.
8. This plan shows details of Proposed Lot 7004 on proposal plan 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions.
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LEGEND

Approximate Fill Area

24 Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 24-000435 provided by Egis.

H=0.7m
AH=0.7m
Denotes retaining wall height (H)
Denotes retaining wall average height (AH)
I-0 ● Denotes depth of fill

Scale 1:250



A	Original Issue	BRJ	26/02/2025
Issue	Revision	Int	Date

Title:

Disclosure Plan for Proposed Lot 7004

7001 Taylors Road, Walloon,
Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

ID WALLOON
DEVELOPMENTS PTY LTD

Locality: WALLOON

Local Gov: ICC Prepared By: BRJ

Surveyed By: Approved: MJT

Date Created: 26/02/2025 Scale: 1:250

Comp File: 220149.project

Plan No: 220149_002_DIS



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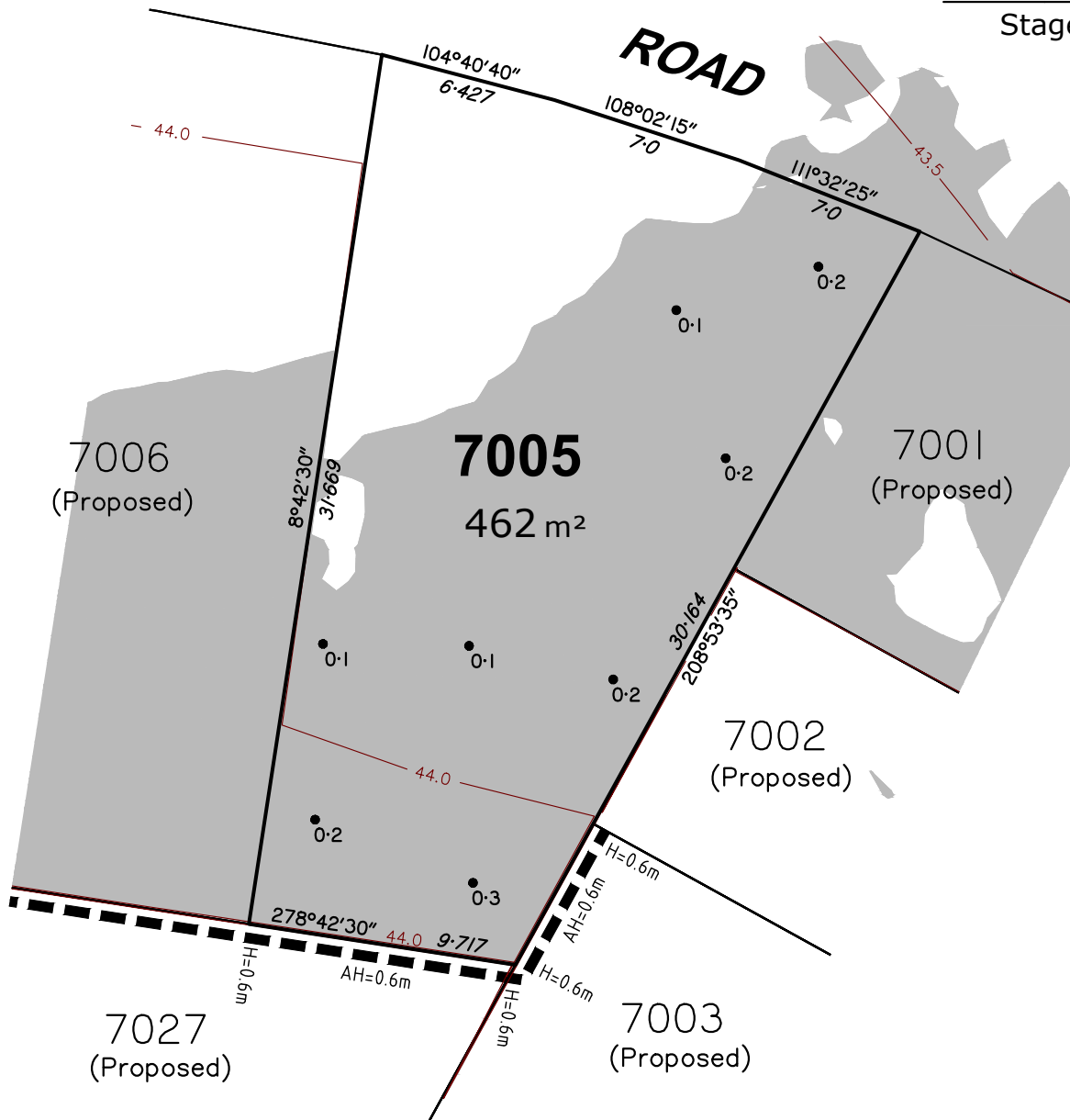
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A4

Lot 7005

Stage 7



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM193875, RL 46.405m AHD.
3. Contour Interval : 0.5m Design.
4. Retaining wall heights are shown at the base of the wall.
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6. This plan has been prepared for disclosure under the Land Sales Act 1984.
7. This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose.
8. This plan shows details of Proposed Lot 7005 on proposal plan 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions.
9. The compaction of earth fill will be undertaken as advised by EGIS and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

Approximate Fill Area

24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 24-000435 provided by Egis.

H=0.7m
Denotes retaining wall height (H)

AH=0.7m
Denotes retaining wall average height (AH)

I-0 ● Denotes depth of fill

Scale 1:250



A	Original Issue	BRJ	26/02/2025
Issue	Revision	Int	Date

Title:

Disclosure Plan for Proposed Lot 7005

7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**ID WALLOON
DEVELOPMENTS PTY LTD**

Locality: WALLOON

Local Gov: ICC Prepared By: BRJ

Surveyed By: Approved: MJT

Date Created: 26/02/2025 Scale: 1:250

Comp File: 220149.project

Plan No: 220149_002_DIS



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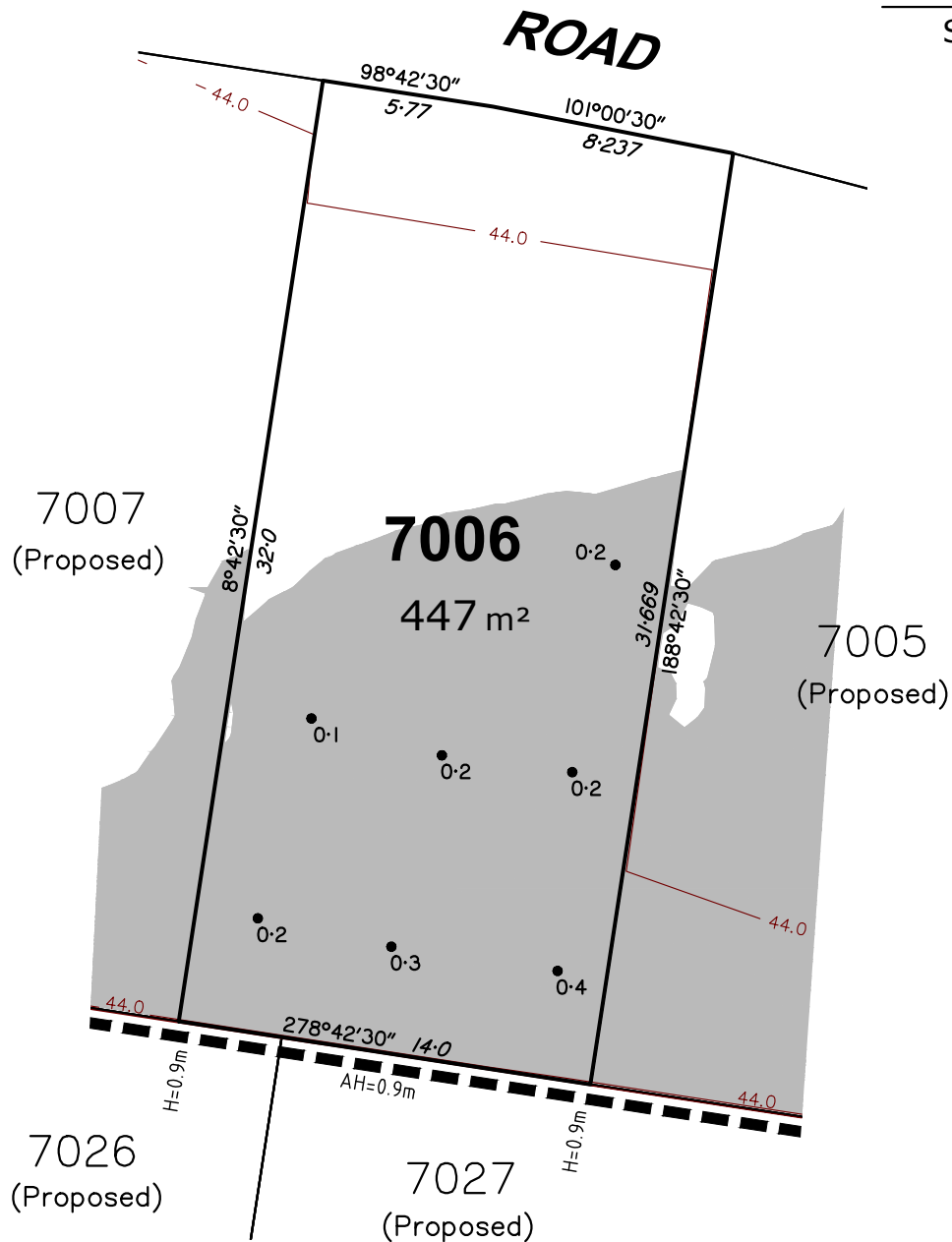
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Lot 7006

Stage 7



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM193875, RL 46.405m AHD.
3. Contour Interval : 0.5m Design.
4. Retaining wall heights are shown at the base of the wall.
5. All dimensions and areas are subject to final survey and approval by ICC.
6. This plan has been prepared for disclosure under the Land Sales Act 1984.
7. This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose.
8. This plan shows details of Proposed Lot 7006 on proposal plan 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions.
9. The compaction of earth fill will be undertaken as advised by EGIS and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

Approximate Fill Area

24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 24-000435 provided by Egis.

H=0.7m
 AH=0.7m

Denotes retaining wall height (H)
Denotes retaining wall average height (AH)

I-0 ● Denotes depth of fill

Scale 1:250



A	Original Issue	BRJ	26/02/2025
Issue	Revision	Int	Date

Title:

Disclosure Plan for Proposed Lot 7006

7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**ID WALLOON
DEVELOPMENTS PTY LTD**

Locality: WALLOON

Local Gov: ICC Prepared By: BRJ

Surveyed By: Approved: MJT

Date Created: 26/02/2025 Scale: 1:250

Comp File: 220149.project

Plan No: 220149_002_DIS



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mail@bennettandbennett.com.au

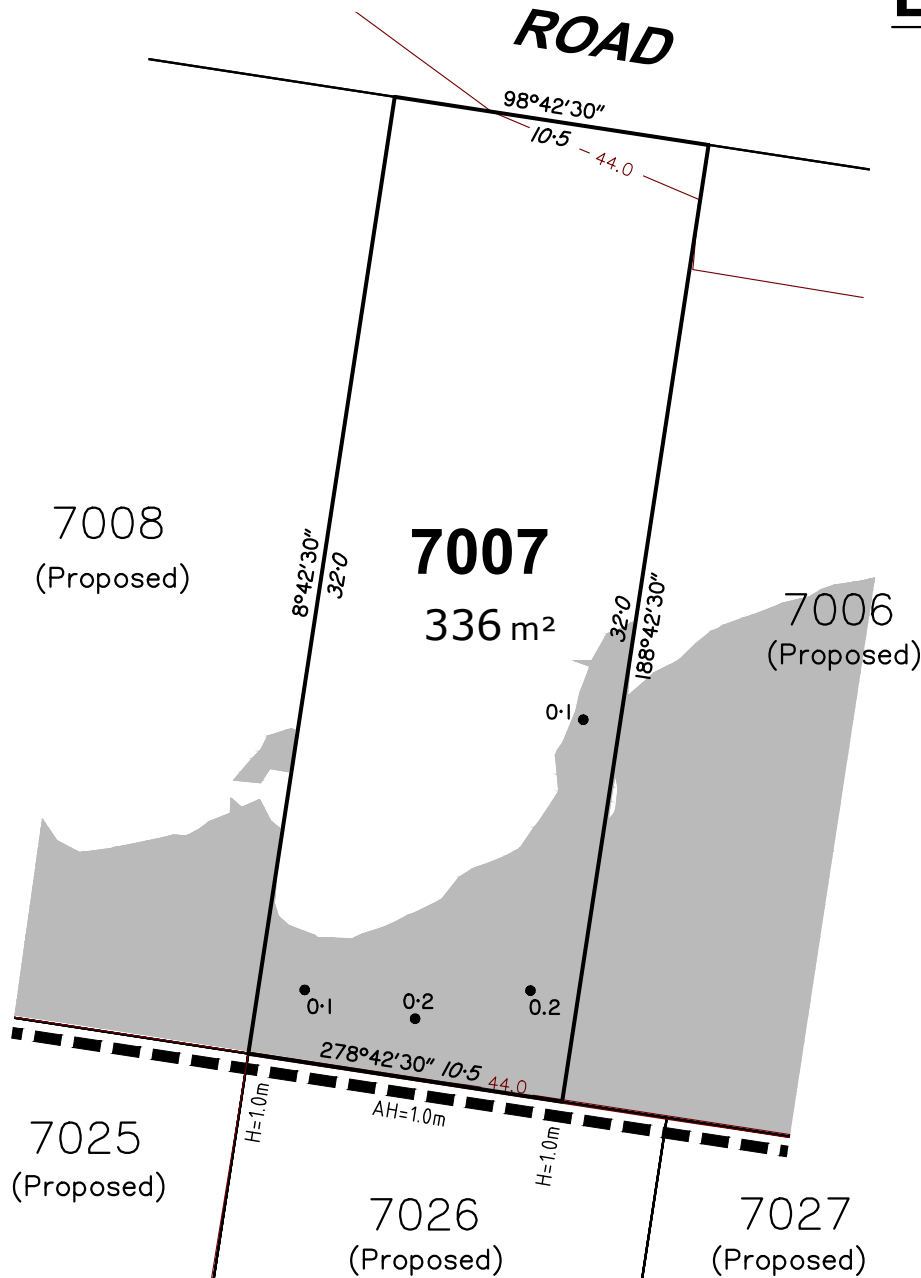
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Lot 7007

Stage 7



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM193875, RL 46.405m AHD.
3. Contour Interval : 0.5m Design.
4. Retaining wall heights are shown at the base of the wall.
5. All dimensions and areas are subject to final survey and approval by ICC.
6. This plan has been prepared for disclosure under the Land Sales Act 1984.
7. This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose.
8. This plan shows details of Proposed Lot 7007 on proposal plan 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions.
9. The compaction of earth fill will be undertaken as advised by EGIS and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

Approximate Fill Area

24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 24-000435 provided by Egis.

H=0.7m
Denotes retaining wall height (H)

AH=0.7m
Denotes retaining wall average height (AH)

I-0 ● Denotes depth of fill

Scale 1:250



A	Original Issue	BRJ	26/02/2025
Issue	Revision	Int	Date

Title:

Disclosure Plan for Proposed Lot 7007

7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**ID WALLOON
DEVELOPMENTS PTY LTD**

Locality: WALLOON

Local Gov: ICC Prepared By: BRJ

Surveyed By: Approved: MJT

Date Created: 26/02/2025 Scale: 1:250

Comp File: 220149.project

Plan No: 220149_002_DIS



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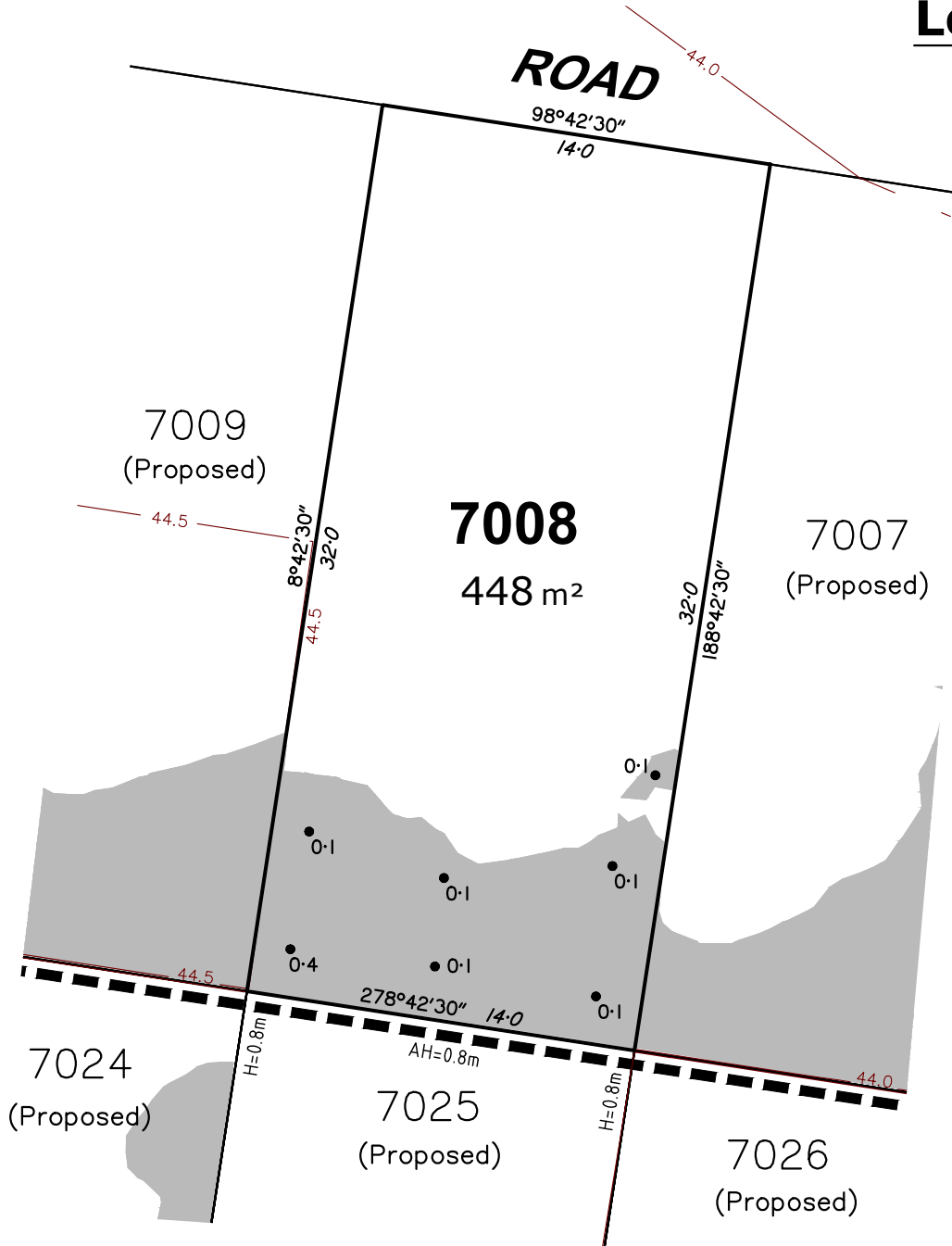
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Lot 7008

Stage 7



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM193875, RL 46.405m AHD.
3. Contour Interval : 0.5m Design.
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6. This plan has been prepared for disclosure under the Land Sales Act 1984.
7. This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose.
8. This plan shows details of Proposed Lot 7008 on proposal plan 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions.
9. The compaction of earth fill will be undertaken as advised by EGIS and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

Approximate Fill Area

24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 24-000435 provided by Egis.

H=0.7m
 AH=0.7m

Denotes retaining wall height (H)
Denotes retaining wall average height (AH)

I-0 ● Denotes depth of fill

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A	Original Issue	BRJ	26/02/2025
Issue	Revision	Int	Date

Title:

Disclosure Plan for Proposed Lot 7008

7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

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Client:

ID WALLOON DEVELOPMENTS PTY LTD

Locality: WALLOON

Local Gov: ICC Prepared By: BRJ

Surveyed By: Approved: MJT

Date Created: 26/02/2025 Scale: 1:250

Comp File: 220149.project

Plan No: 220149_002_DIS



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Ph: (07) 5631 8000

mail@bennettandbennett.com.au

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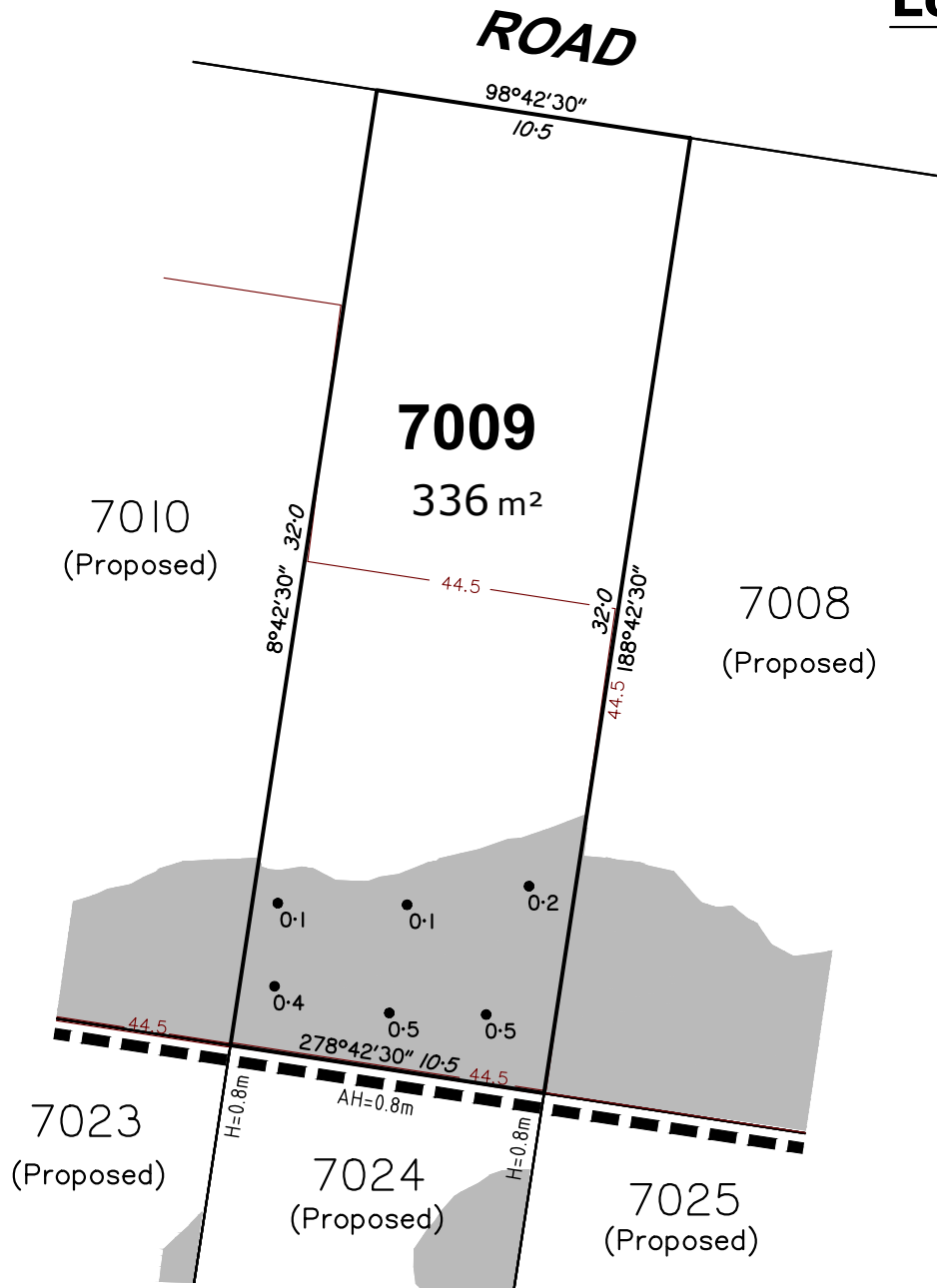
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A4

Lot 7009

Stage 7



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM193875, RL 46.405m AHD.
3. Contour Interval : 0.5m Design.
4. Retaining wall heights are shown at the base of the wall.
5. All dimensions and areas are subject to final survey and approval by ICC.
6. This plan has been prepared for disclosure under the Land Sales Act 1984.
7. This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose.
8. This plan shows details of Proposed Lot 7009 on proposal plan 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions.
9. The compaction of earth fill will be undertaken as advised by EGIS and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

Approximate Fill Area

24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 24-000435 provided by Egis.

H=0.7m
Denotes retaining wall height (H)

AH=0.7m
Denotes retaining wall average height (AH)

1-0 ● Denotes depth of fill

Scale 1:250



A	Original Issue	BRJ	26/02/2025
Issue	Revision	Int	Date

Title:

Disclosure Plan for Proposed Lot 7009

7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

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Client:

**ID WALLOON
DEVELOPMENTS PTY LTD**

Locality: WALLOON

Local Gov: ICC Prepared By: BRJ

Surveyed By: Approved: MJT

Date Created: 26/02/2025 Scale: 1:250

Comp File: 220149.project

Plan No: 220149_002_DIS



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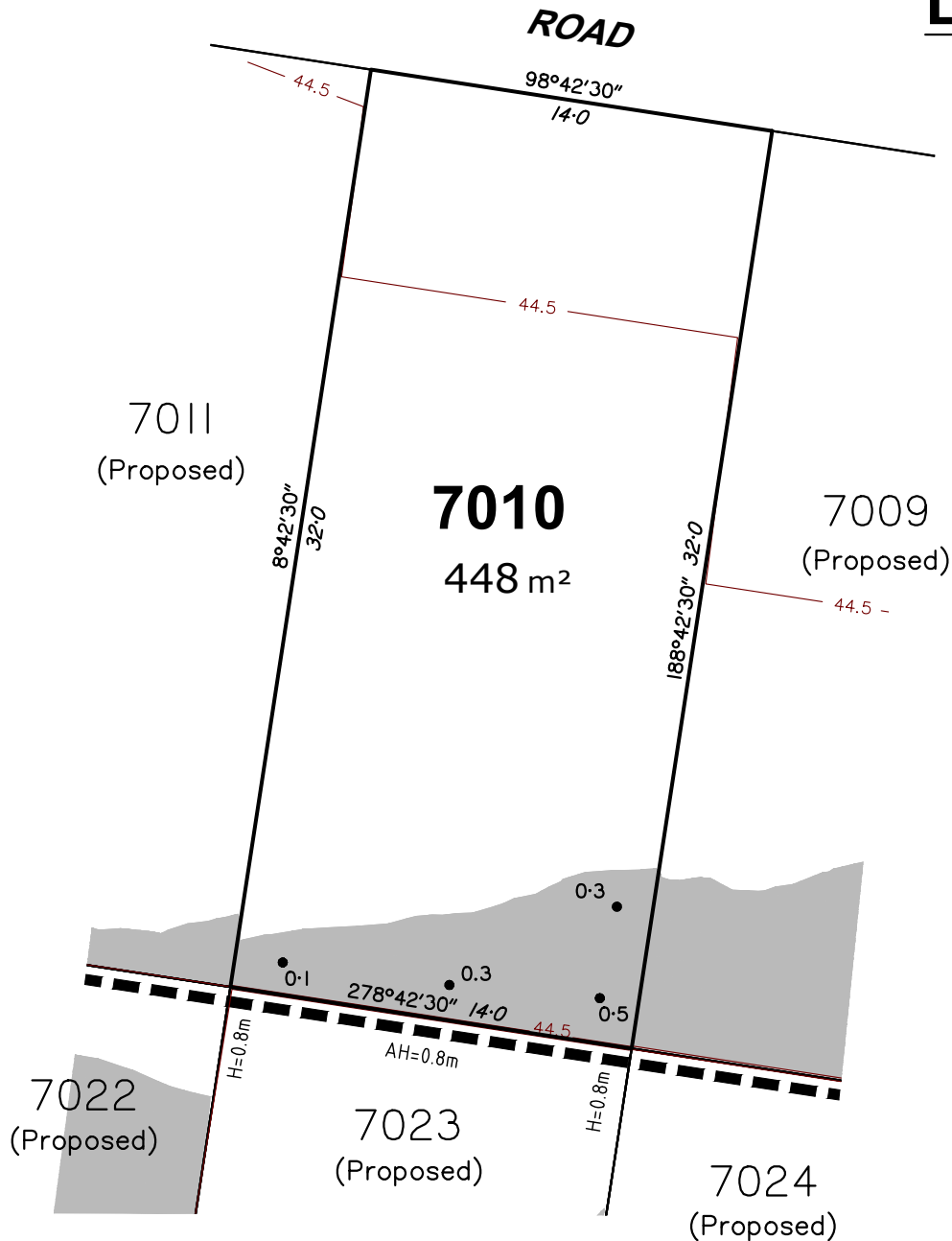
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Lot 7010

Stage 7



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM193875, RL 46.405m AHD.
3. Contour Interval : 0.5m Design.
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6. This plan has been prepared for disclosure under the Land Sales Act 1984.
7. This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose.
8. This plan shows details of Proposed Lot 7010 on proposal plan 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions.
9. The compaction of earth fill will be undertaken as advised by EGIS and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND

Approximate Fill Area

24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 24-000435 provided by Egis.

H=0.7m
 H=0.7m Denotes retaining wall height (H)

AH=0.7m Denotes retaining wall average height (AH)

I-0 ● Denotes depth of fill

Scale 1:250



A	Original Issue	BRJ	26/02/2025
Issue	Revision	Int	Date

Title:

Disclosure Plan for Proposed Lot 7010

7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**ID WALLOON
DEVELOPMENTS PTY LTD**

Locality: WALLOON

Local Gov: ICC Prepared By: BRJ

Surveyed By: Approved: MJT

Date Created: 26/02/2025 Scale: 1:250

Comp File: 220149.project

Plan No: 220149_002_DIS

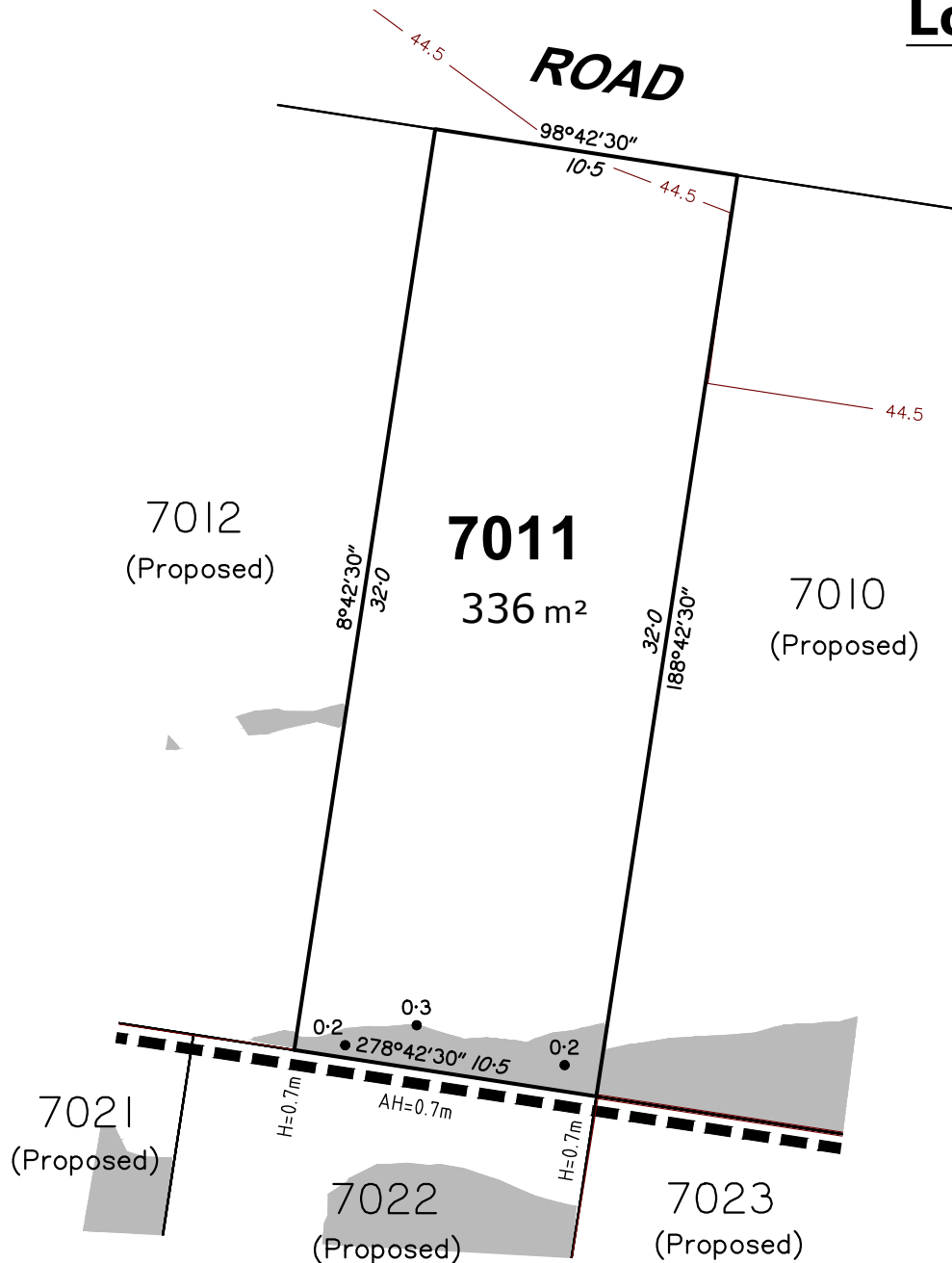


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7. This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose.
8. This plan shows details of Proposed Lot 7011 on proposal plan 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions.
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LEGEND

Approximate Fill Area

24 — Design Contours

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Denotes retaining wall height (H) AH=0.7m
Denotes retaining wall average height (AH)

I-0 ● Denotes depth of fill

Scale 1:250

A	Original Issue	BRJ	26/02/2025
Issue	Revision	Int	Date



Title:

Disclosure Plan for
Proposed Lot 7011

7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

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Client:

ID WALLOON
DEVELOPMENTS PTY LTD

Locality: WALLOON

Local Gov: ICC Prepared By: BRJ

Surveyed By: Approved: MJT

Date Created: 26/02/2025 Scale: 1:250

Comp File: 220149.project

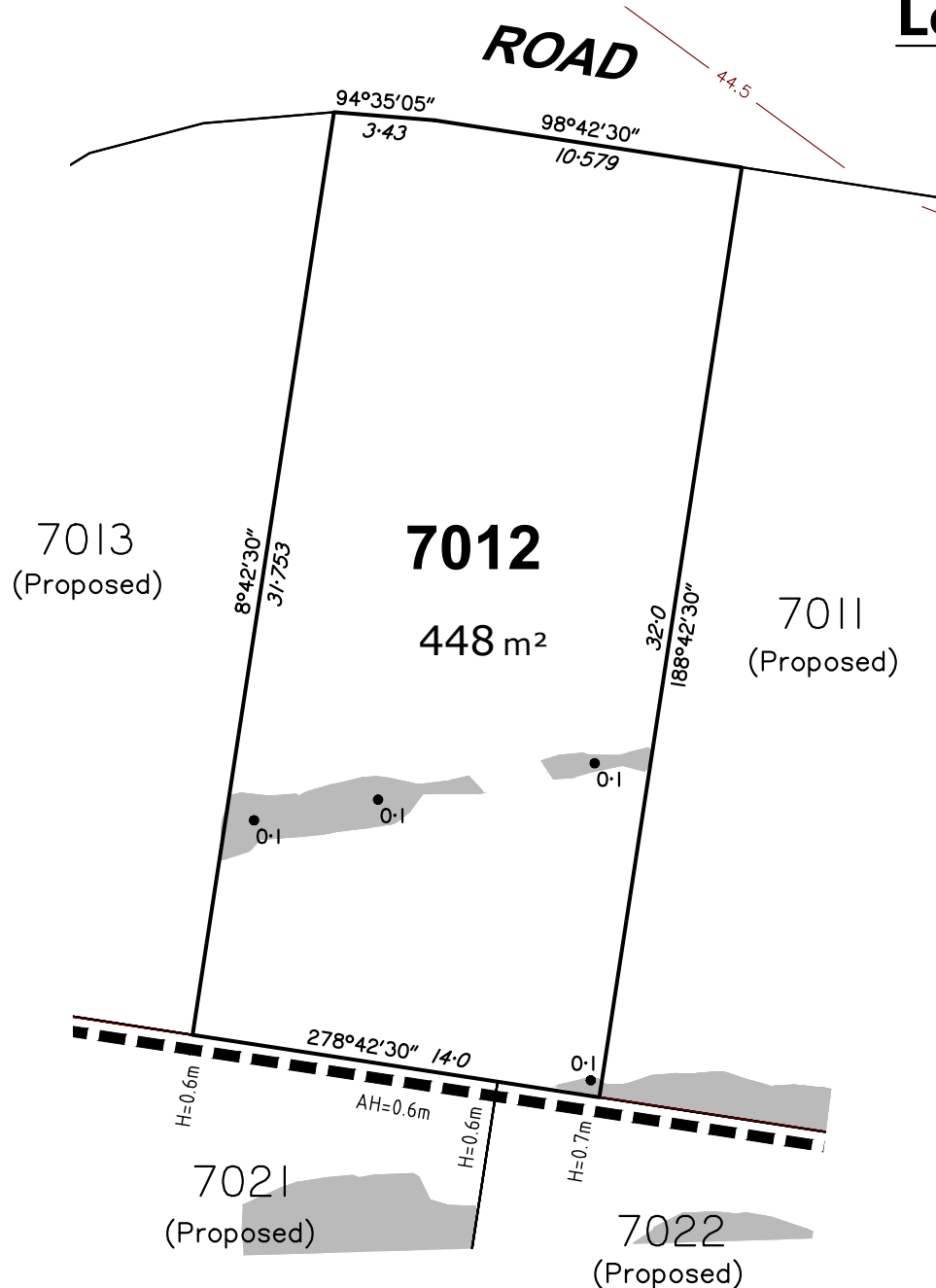
Plan No: 220149_002_DIS

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6. This plan has been prepared for disclosure under the Land Sales Act 1984.
7. This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose.
8. This plan shows details of Proposed Lot 7012 on proposal plan 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions.
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LEGEND

Approximate Fill Area

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Denotes retaining wall height (H) AH=0.7m
Denotes retaining wall average height (AH)

I=0 ● Denotes depth of fill

Scale 1:250

A	Original Issue	BRJ	26/02/2025
Issue	Revision	Int	Date



Title:

**Disclosure Plan for
Proposed Lot 7012**

7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

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Client:

**ID WALLOON
DEVELOPMENTS PTY LTD**

Locality: WALLOON

Local Gov: ICC Prepared By: BRJ

Surveyed By: Approved: MJT

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Comp File: 220149.project

Plan No: 220149_002_DIS



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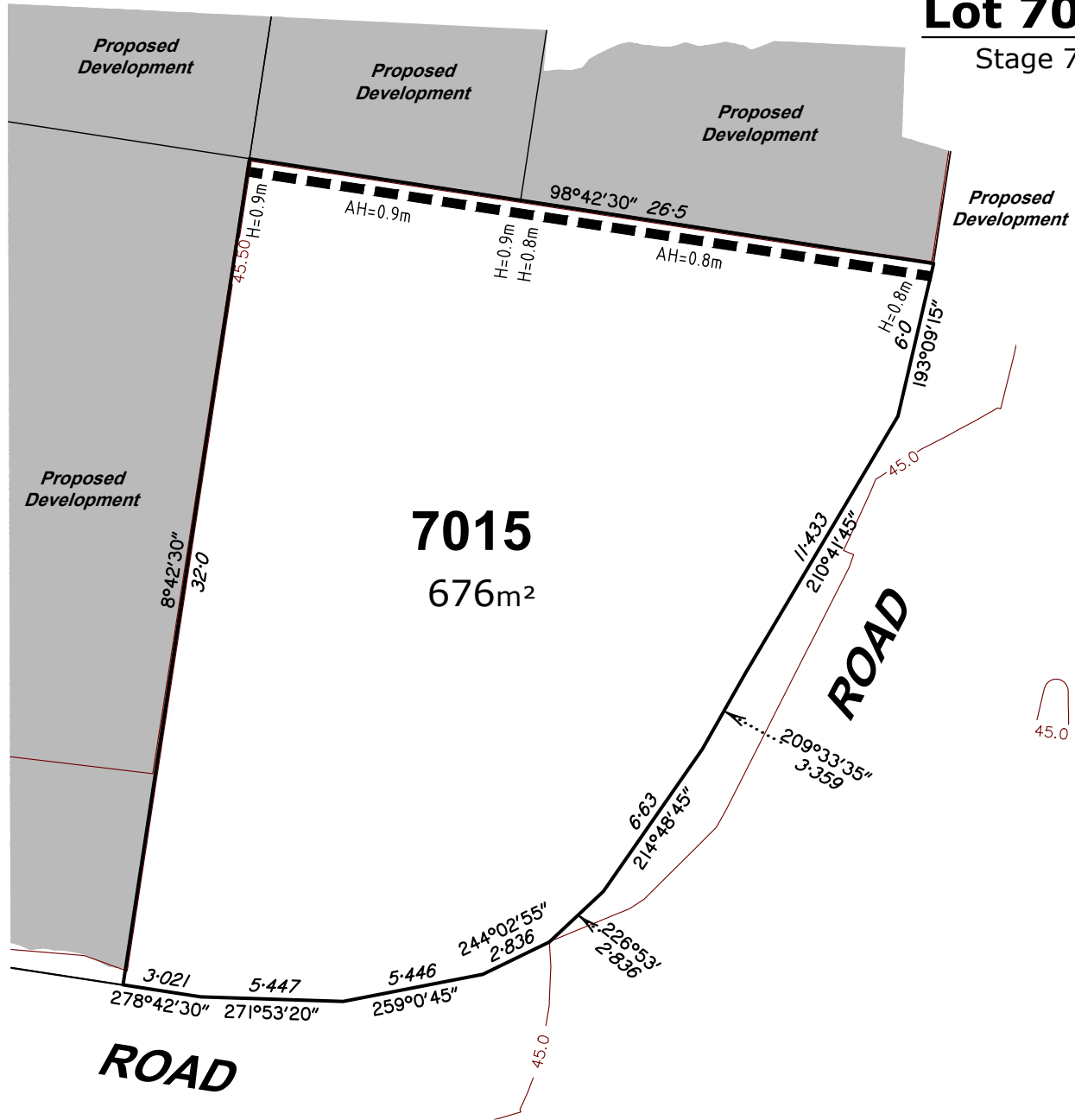
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Lot 7015

Stage 7



Notes:

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3. Contour Interval : 0.5m Design.
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6. This plan has been prepared for disclosure under the Land Sales Act 1984.
7. This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose.
8. This plan shows details of Proposed Lot 7015 on proposal plan 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions.
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LEGEND

Approximate Fill Area

24 — Design Contours

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H=0.7m
 AH=0.7m
Denotes retaining wall height (H)

Denotes retaining wall average height (AH)

I=0 ● Denotes depth of fill

Scale 1:250

B	Truncation Adjustment	SCO	25/03/2025
A	Original Issue	BRJ	26/02/2025
Issue	Revision	Int	Date



Title:

Disclosure Plan for Proposed Lot 7015

7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

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Client:

ID WALLOON DEVELOPMENTS PTY LTD

Locality: WALLOON

Local Gov: ICC Prepared By: BRJ

Surveyed By: Approved: MJT

Date Created: 26/02/2025 Scale: 1:250

Comp File: 220149.project

Plan No: 220149_002_DIS



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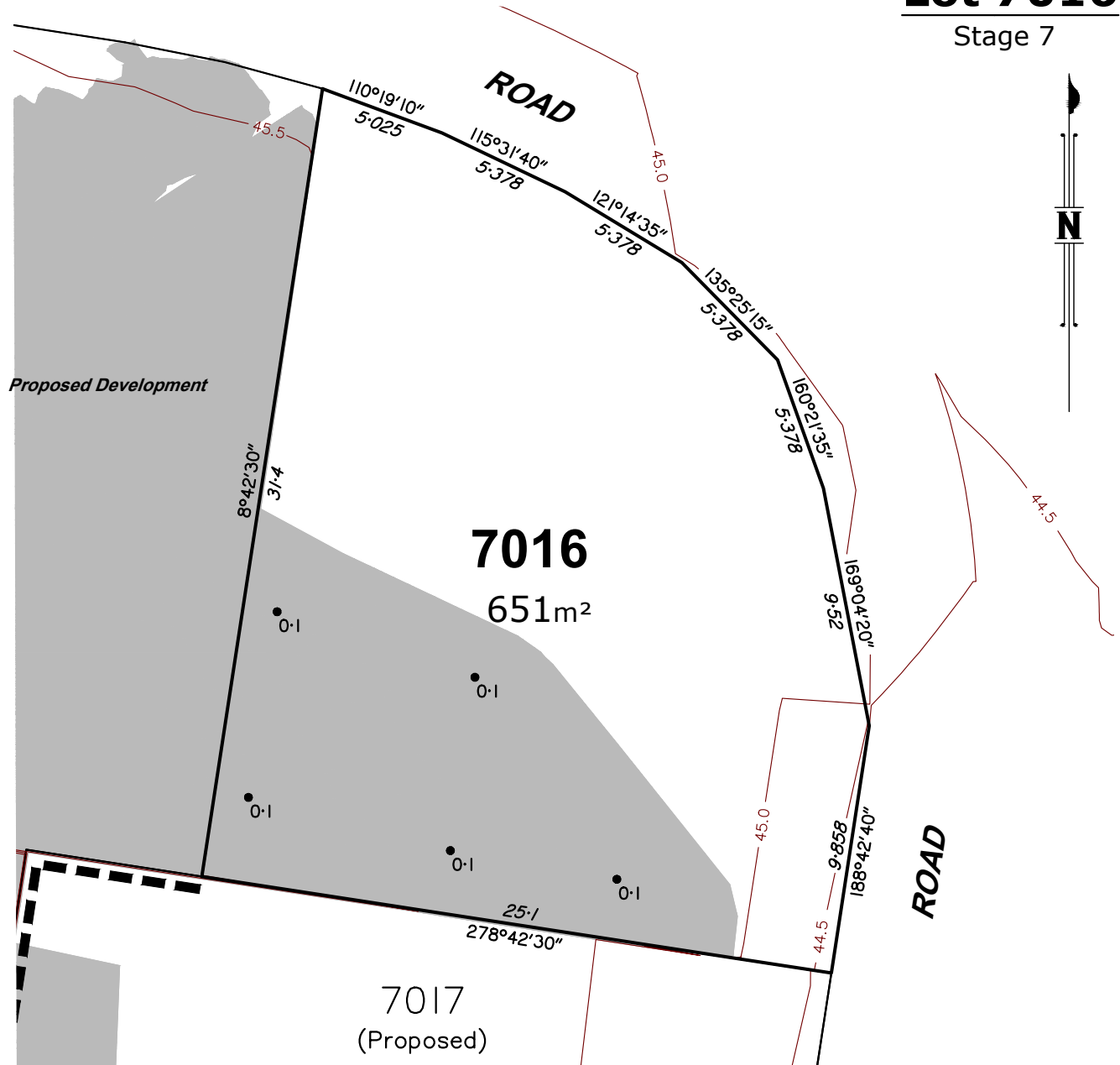
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Lot 7016

Stage 7



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM193875, RL 46.405m AHD.
3. Contour Interval : 0.5m Design.
4. Retaining wall heights are shown at the base of the wall.
5. All dimensions and areas are subject to final survey and approval by ICC.
6. This plan has been prepared for disclosure under the Land Sales Act 1984.
7. This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose.
8. This plan shows details of Proposed Lot 7016 on proposal plan 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions.
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LEGEND

Approximate Fill Area

24 — Design Contours

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H=0.7m
 AH=0.7m
Denotes retaining wall height (H)

Denotes retaining wall average height (AH)

I-0 ● Denotes depth of fill

Scale 1:250

B	Truncation Adjustment	SCO	25/03/2025
A	Original Issue	BRJ	26/02/2025
Issue	Revision	Int	Date



Title:

Disclosure Plan for Proposed Lot 7016

7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

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Client:

**ID WALLOON
DEVELOPMENTS PTY LTD**

Locality: WALLOON

Local Gov: ICC Prepared By: BRJ

Surveyed By: Approved: MJT

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Comp File: 220149.project

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