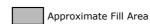
# **Lot 7013** Stage 7 85°08′15" 4.454 7013 7012 468m<sup>2</sup> (Proposed) 19.452 278°42′30′ AH=0.5m H=0.5m | 7020 (Proposed) 7021 (Proposed)

### Notes:

- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM193875, RL 46.405m AHD.
- Contour Interval: 0.5m Design.
- 4. Retaining wall heights are shown at the base of the wall.
- All dimensions and areas are subject to final survey and approval by ICC. This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose 8. This plan shows details of Proposed Lot 7013 on proposal plan
- 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions
- 9. The compaction of earth fill will be undertaken as advised by EGIS and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

Title:

## **LEGEND**



-24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 24-000435 provided by Egis.

Denotes retaining wall height (H)

Denotes retaining wall average height (AH) I•0 ● Denotes depth of fill

Scale 1:250

Α	Original Issue	BRJ 26/02/2025	0m		10	15	20	25
Issue	Revision	Int Date	0m	3	10	13	20	25



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## Disclosure Plan for Proposed Lot 7013

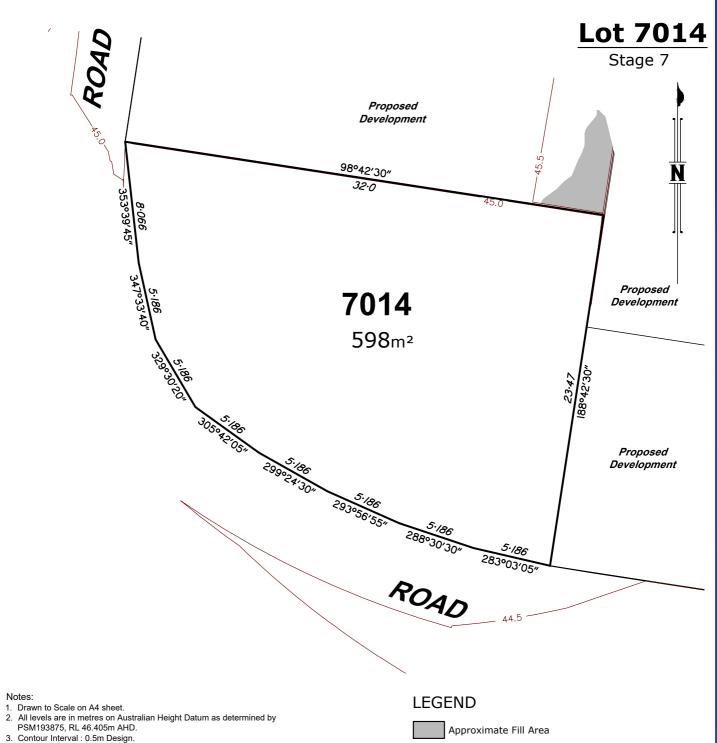
7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining wall have appropriate the process of the plan may vary during construction. This note is an integral part of this plan and no part of the near may be perceptured without this construction. this plan and no part of the plan may be reproduced without this no

Client:	ID WALLOON
	DEVELOPMENTS PTY LTD
Locality	WALLOON

Plan No:	220149 00	2 DIS	
Comp File:	220149.proje	ct	
Date Created:	26/02/2025	Scale:	1:250
Surveyed By:		Approved:	MJT
Local Gov:	ICC	Prepared By:	BRJ
Locality:	WALLOON		



- 4. Retaining wall heights are shown at the base of the wall.
- All dimensions and areas are subject to final survey and approval by ICC. This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes
- of accompanying a sales contract and must not be used for any other purpose 8. This plan shows details of Proposed Lot 7014 on proposal plan 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December,
- 2024 subject to conditions 9. The compaction of earth fill will be undertaken as advised by EGIS and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

Title:

-24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 24-000435 provided by Egis.

Denotes retaining wall height (H)

Denotes retaining wall average height (AH)

I·O ● Denotes depth of fill

Scale 1:250

					Coalc	1.200		
Α	Original Issue	BRJ 26/02/2025	0m		10	15	20	25
lecure	Revision	Int Date	0m	5	10	13	20	23



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## Disclosure Plan for Proposed Lot 7014

7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining wall have appropriate the process of the plan may vary during construction. This note is an integral part of this plan and no part of the near may be perceptured without this construction. this plan and no part of the plan may be reproduced without this note

Client:	ID WALLOON
	DEVELOPMENTS PTY LTD
Locality	WALLOON

Plan No:	220149 00	2 DIS	
Comp File:	220149.proje	ct	
Date Created:	26/02/2025	Scale:	1:250
Surveyed By:		Approved:	MJT
Local Gov:	ICC	Prepared By:	BRJ
Locality:	WALLOON		

## Lot 7017 Stage 7 7016 **Proposed Development** (Proposed) 46.0 10.1m AH=0.7m F/ Proposed 0.1 Development 7017 449m<sup>2</sup> \_0.2 H=1.1m Proposed Development 7018 (Proposed)

### Notes:

- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM193875, RL 46.405m AHD.
- Contour Interval: 0.5m Design.
- 4. Retaining wall heights are shown at the base of the wall.
- All dimensions and areas are subject to final survey and approval by ICC. This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose 8. This plan shows details of Proposed Lot 7017 on proposal plan
- 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions
- 9. The compaction of earth fill will be undertaken as advised by EGIS and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1

Int

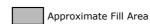
BRJ 26/02/2025

Date

Title:

## **LEGEND**

H=0.7m



-24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 24-000435 provided by Egis.

Denotes retaining wall height (H)

Denotes retaining wall average height (AH)

I•0 ● Denotes depth of fill

Scale 1:250 0m 10 15 20 25

# **BENNETT+BENNETT**

Original Issue

Revision

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## Disclosure Plan for **Proposed Lot 7017**

7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Ply Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 2.0%. The Lentihs and shanes depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note

Plan No:	lo: 220149_002_DIS				
Comp File:	220149.proje				
Date Created:	26/02/2025	Scale:	1:250		
Surveyed By:		Approved:	MJT		
Local Gov:	ICC	Prepared By:	BRJ		
Locality:	WALLOON				

# **Lot 7018** Stage 7 Proposed 7017 Development (Proposed) H=1.2m Proposed Development £7018 12.5 188°42′30″ 401m<sup>2</sup> H=1.2m 278°42′30′ 0.2 Proposed Development 7019 (Proposed)

### Notes:

- Drawn to Scale on A4 sheet.
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- 4. Retaining wall heights are shown at the base of the wall.
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- 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions
- 9. The compaction of earth fill will be undertaken as advised by EGIS and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

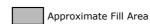
Int

BRJ 26/02/2025

Date

Title:

## **LEGEND**



-24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 24-000435 provided by Egis.

H=0.7m Denotes retaining wall height (H)

Denotes retaining wall average height (AH)

I·O ● Denotes depth of fill

0-2007-Level 1.		Scale 1:250			
0m	5	10	15	20	25

AH=0.7m

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## Disclosure Plan for **Proposed Lot 7018**

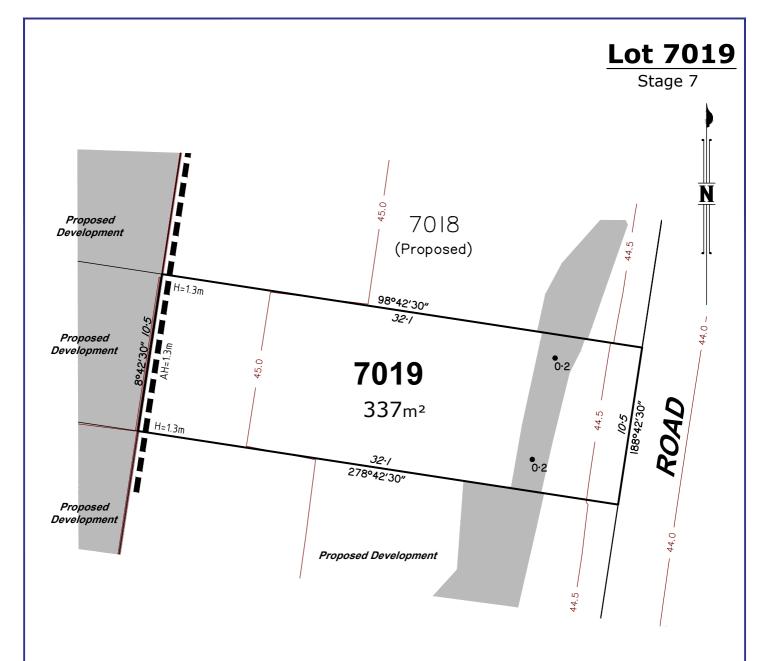
7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

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Client:	ID WALLOON
	DEVELOPMENTS PTY LTD
Locality:	WALLOON

Plan No:	220149 00	סום מו	
Comp File:	220149.proje	ct	
Date Created:	26/02/2025	Scale:	1:250
Surveyed By:		Approved:	MJT
Local Gov:	ICC	Prepared By:	BRJ
Locality:	WALLOON		



- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM193875, RL 46.405m AHD.
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- 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions
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Int

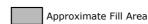
BRJ 26/02/2025

Date

Title:

## **LEGEND**

H=0.7m



-24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 24-000435 provided by Egis.

Denotes retaining wall height (H)

Denotes retaining wall average height (AH)

I·O ● Denotes depth of fill

Scale 1:250 0m 10 15 20 25

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## Disclosure Plan for **Proposed Lot 7019**

7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

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### **ID WALLOON** Client: **DEVELOPMENTS PTY LTD**

Plan No:	220149 00	2 DIS	
Comp File:	220149.proje	ct	
Date Created:	26/02/2025	Scale:	1:250
Surveyed By:		Approved:	MJT
Local Gov:	ICC	Prepared By:	BRJ
Locality:	WALLOON		

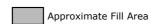
# **Lot 7020** Stage 7 7013 (Proposed) 7012 98°42′30″ 13.952 7020 383m<sup>2</sup> 7021 0.1 (Proposed) 0.1 353°42'30". 3.106 44.0 278°42′30′ 293°42'30" 3.106 ROAD

- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM193875, RL 46.405m AHD.
- Contour Interval: 0.5m Design.
- 4. Retaining wall heights are shown at the base of the wall.
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- 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions
- 9. The compaction of earth fill will be undertaken as advised by EGIS and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

Title:

## **LEGEND**

H=0.7m



-24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 24-000435 provided by Egis.

H=0.7mDenotes retaining wall height (H)

> Denotes retaining wall average height (AH) I·O ● Denotes depth of fill

Scale 1:250

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Α	Original Issue	BRJ 26/02/2025	0m	- F	10	15	20	25
Iccuro	Povision	Int Data	0m	5	10	15	20	25

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## Disclosure Plan for Proposed Lot 7020

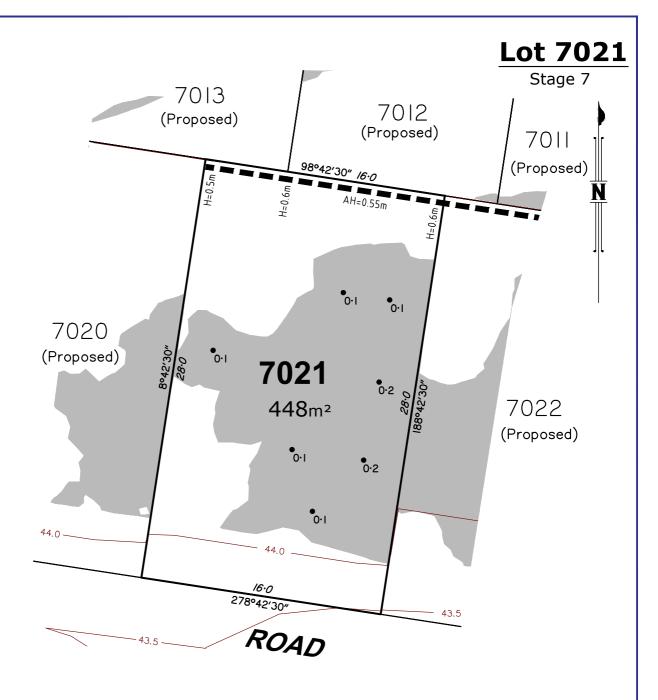
7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

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#### Client: **ID WALLOON DEVELOPMENTS PTY LTD**

WALLOON Locality: ICC BRJ Local Gov: Prepared By: Surveyed By Approved: MJT Date Created: 26/02/2025 Scale: 1:250 Comp File: 220149.project Plan No: 220149\_002\_DIS



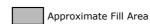
- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM193875, RL 46.405m AHD.
- Contour Interval: 0.5m Design.
- 4. Retaining wall heights are shown at the base of the wall.
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- This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose 8. This plan shows details of Proposed Lot 7021 on proposal plan
- 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions
- 9. The compaction of earth fill will be undertaken as advised by EGIS and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

Title:

## **LEGEND**

H=0.7m

AH=0.7m



-24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 24-000435 provided by Egis.

Denotes retaining wall height (H)

Denotes retaining wall average height (AH) I•0 ● Denotes depth of fill

Scale 1:250

1					Coalo	1.200		
Α	Original Issue	BRJ 26/02/2025	0m		10	15	20	25
lecura	Pevision	Int Date	0m	5	10	13	20	25

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## Disclosure Plan for Proposed Lot 7021

7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

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Plan No:	220149 00	2 DIS			
Comp File:	220149.project				
Date Created:	26/02/2025	Scale:	1:250		
Surveyed By:		Approved:	MJT		
Local Gov:	ICC	Prepared By:	BRJ		
Locality:	WALLOON				

## **Lot 7022** Stage 7 7012 7011 (Proposed) 7010 (Proposed) 98°42′30″ /4·0 (Proposed) AH=0.7m F H=0 0.1 0.1 7021 7022 ٠ 0٠١ (Proposed) 392m<sup>2</sup> 7023 (Proposed) 0.1 ۰ ۱۰0 0.1 44.0 44.0 - 43.5 \_ 278°42′30″ ROAD

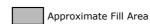
### Notes:

- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM193875, RL 46.405m AHD.
- Contour Interval: 0.5m Design.
- 4. Retaining wall heights are shown at the base of the wall.
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- This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose 8. This plan shows details of Proposed Lot 7022 on proposal plan
- 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions
- 9. The compaction of earth fill will be undertaken as advised by EGIS and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

Title:

## **LEGEND**

AH=0.7m



-24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on H=0.7m engineering plan 24-000435 provided by Egis.

Denotes retaining wall height (H)

Denotes retaining wall average height (AH) I•0 ● Denotes depth of fill

Scale 1:250

Α	Original Issue	BRJ 26/02/2025	0m	5	10	15	20	25
Issue	Revision	Int Date	0m	5	10	13	20	25

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## Disclosure Plan for Proposed Lot 7022

7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

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#### ID WALLOON Client: **DEVELOPMENTS PTY LTD**

Plan No:	220149 00	2 DIS			
Comp File:	220149.project				
Date Created:	26/02/2025	Scale:	1:250		
Surveyed By:		Approved:	MJT		
Local Gov:	ICC	Prepared By:	BRJ		
Locality:	WALLOON				

## **Lot 7023** Stage 7 7011 7010 (Proposed) (Proposed) 7009 98°42′30″ /4·0 (Proposed) AH=0.8m H=0.8m 0.1 7022 7023 (Proposed) 392m<sup>2</sup> 7024 0.1 (Proposed) 0.1 0·1 43.5 43.5 278°42′30″ ROAD

- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM193875, RL 46.405m AHD.
- Contour Interval: 0.5m Design.
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- 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions
- 9. The compaction of earth fill will be undertaken as advised by EGIS and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

Title:

## **LEGEND**

H=0.7m

AH=0.7m



-24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 24-000435 provided by Egis.

Denotes retaining wall height (H)

Denotes retaining wall average height (AH) I·O ● Denotes depth of fill

Scale 1:250

Α	Original Issue	BRJ 26/02/2025	Om		10	15	20	25
Issue	Revision	Int Date	0m	J	10	13	20	23



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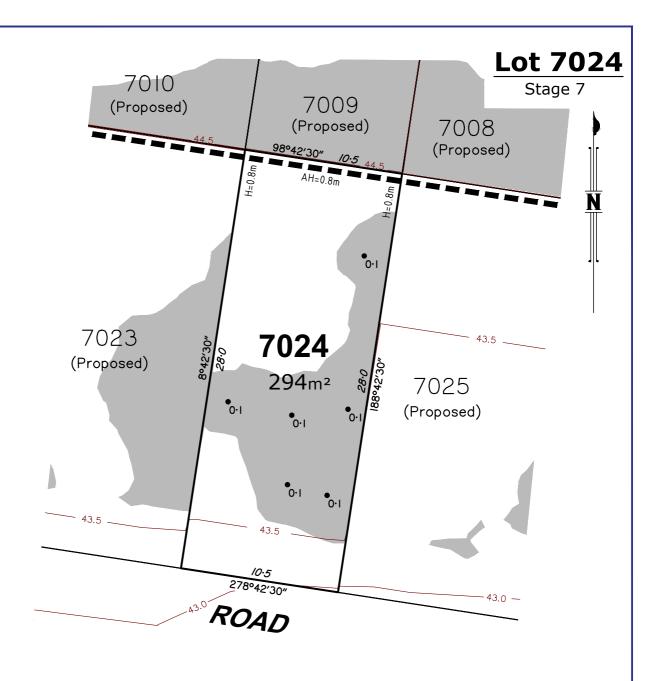
## Disclosure Plan for Proposed Lot 7023

7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining wall have appropriate the process of the plan may vary during construction. This note is an integral part of this plan and no part of the near may be perceptured without this construction. this plan and no part of the plan may be reproduced without this no

Plan No: <b>220149_002_DIS</b>					
Comp File:	220149.project				
Date Created:	26/02/2025	Scale:	1:250		
Surveyed By:		Approved:	MJT		
Local Gov:	ICC	Prepared By:	BRJ		
Locality:	WALLOON				

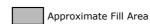


- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM193875, RL 46.405m AHD.
- Contour Interval: 0.5m Design.
- 4. Retaining wall heights are shown at the base of the wall.
- All dimensions and areas are subject to final survey and approval by ICC. This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose 8. This plan shows details of Proposed Lot 7024 on proposal plan
- 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions
- 9. The compaction of earth fill will be undertaken as advised by EGIS and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

Title:

## **LEGEND**

AH=0.7m



-24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on H=0.7m engineering plan 24-000435 provided by Egis.

Denotes retaining wall height (H)

Denotes retaining wall average height (AH) I•0 ● Denotes depth of fill

Scale 1:250

Α	Original Issue	BRJ 26/02/2025	Om		10	15	20	25
Issue	Revision	Int Date	0m	J	10	13	20	23



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## Disclosure Plan for **Proposed Lot 7024**

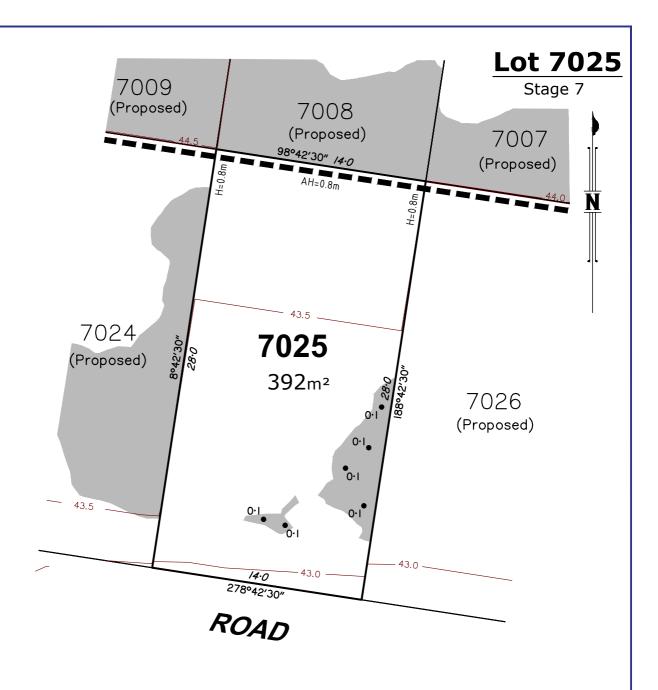
7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

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Client:	ID WALLOON
	DEVELOPMENTS PTY LTI
L Pt	MALLOON

Plan No:	220149 00	סום מו			
Comp File:	220149.project				
Date Created:	26/02/2025	Scale:	1:250		
Surveyed By:		Approved:	MJT		
Local Gov:	ICC	Prepared By:	BRJ		
Locality:	WALLOON				



- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM193875, RL 46.405m AHD.
- Contour Interval: 0.5m Design.
- 4. Retaining wall heights are shown at the base of the wall.
- All dimensions and areas are subject to final survey and approval by ICC. This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose 8. This plan shows details of Proposed Lot 7025 on proposal plan
- 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions
- 9. The compaction of earth fill will be undertaken as advised by EGIS and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

Title:

## **LEGEND**

H=0.7m

AH=0.7m



-24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 24-000435 provided by Egis.

Denotes retaining wall height (H)

Denotes retaining wall average height (AH) I•0 ● Denotes depth of fill

Scale 1:250

Α	Original Issue	BRJ 26/02/2025	Om		10	15	20	25
Issue	Revision	Int Date	0m	J	10	13	20	23



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## Disclosure Plan for Proposed Lot 7025

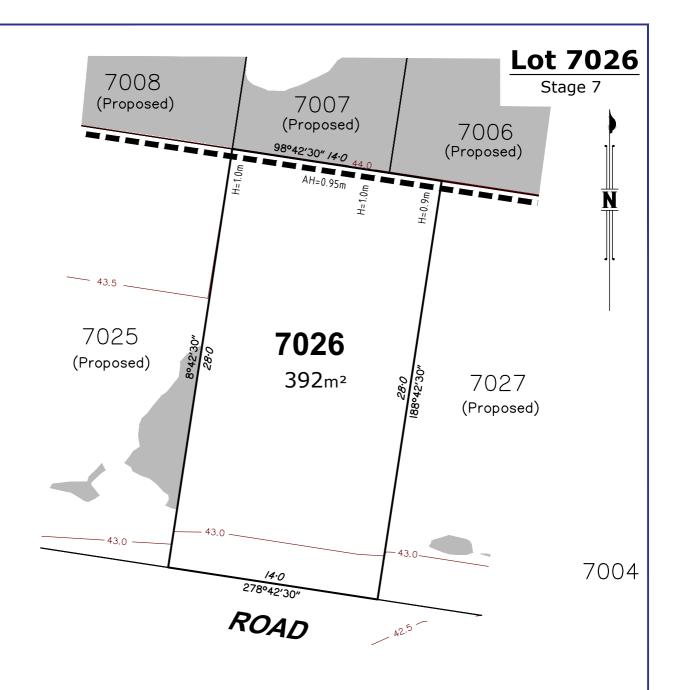
7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

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Client:	ID WALLOON
	DEVELOPMENTS PTY LTD

Dlan No:	220149 00	2 DIS			
Comp File:	220149.project				
Date Created:	26/02/2025	Scale:	1:250		
Surveyed By:		Approved:	MJT		
Local Gov:	ICC	Prepared By:	BRJ		
Locality:	WALLOON				



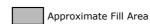
- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM193875, RL 46.405m AHD.
- Contour Interval: 0.5m Design.
- 4. Retaining wall heights are shown at the base of the wall.
- All dimensions and areas are subject to final survey and approval by ICC. This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose 8. This plan shows details of Proposed Lot 7026 on proposal plan
- 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions
- 9. The compaction of earth fill will be undertaken as advised by EGIS and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

Title:

## **LEGEND**

H=0.7m

AH=0.7m



-24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 24-000435 provided by Egis.

Denotes retaining wall height (H)

Denotes retaining wall average height (AH) I•0 ● Denotes depth of fill

Scale 1:250

Α	Original Issue	BRJ 26/02/2025	0m		10	15	20	25
Issue	Revision	Int Date	0m	3	10	13	20	25



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## Disclosure Plan for **Proposed Lot 7026**

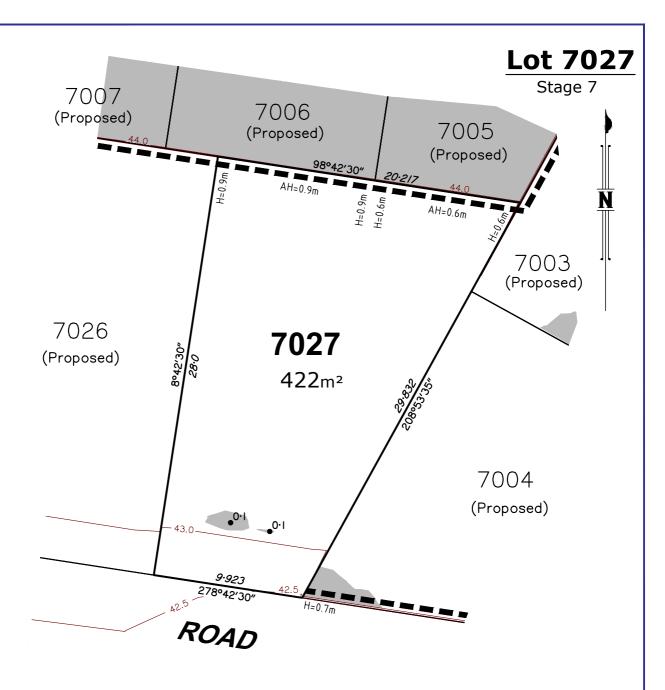
7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

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#### **ID WALLOON** Client: **DEVELOPMENTS PTY LTD**

Plan No:	220149 00	2 DIS			
Comp File:	220149.project				
Date Created:	26/02/2025	Scale:	1:250		
Surveyed By:		Approved:	MJT		
Local Gov:	ICC	Prepared By:	BRJ		
Locality:	WALLOON				



- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM193875, RL 46.405m AHD.
- Contour Interval: 0.5m Design.
- 4. Retaining wall heights are shown at the base of the wall.
- All dimensions and areas are subject to final survey and approval by ICC. This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose 8. This plan shows details of Proposed Lot 7027 on proposal plan
- 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions
- 9. The compaction of earth fill will be undertaken as advised by EGIS and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

Title:

## **LEGEND**



-24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 24-000435 provided by Egis.

Denotes retaining wall height (H)

Denotes retaining wall average height (AH) I•0 ● Denotes depth of fill

Scale 1:250

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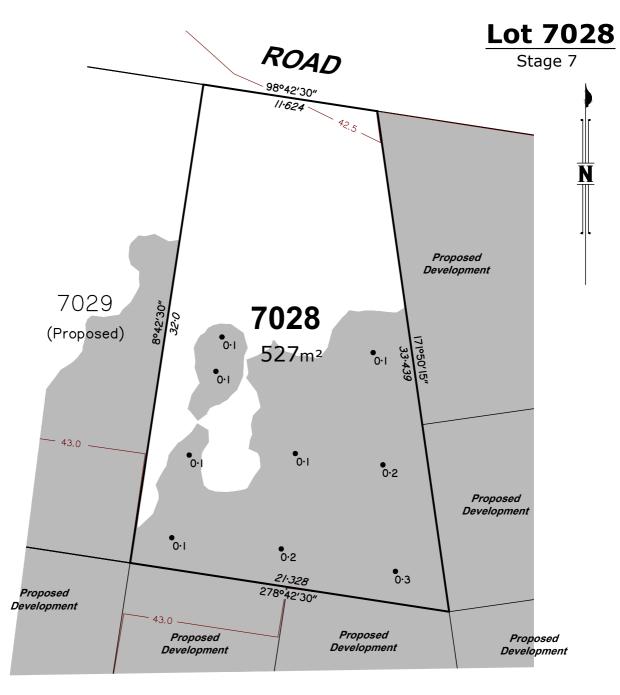
## Disclosure Plan for **Proposed Lot 7027**

7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

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Plan No:	220149 00	פוח פו			
Comp File:	220149.project				
Date Created:	26/02/2025	Scale:	1:250		
Surveyed By:		Approved:	MJT		
Local Gov:	ICC	Prepared By:	BRJ		
Locality:	WALLOON				

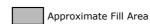


- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM193875, RL 46.405m AHD.
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- 4. Retaining wall heights are shown at the base of the wall.
- All dimensions and areas are subject to final survey and approval by ICC. This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose 8. This plan shows details of Proposed Lot 7028 on proposal plan
- 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions
- 9. The compaction of earth fill will be undertaken as advised by EGIS and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

Title:

## **LEGEND**

AH=0.7m



-24 — Design Contours

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Denotes retaining wall height (H)

Denotes retaining wall average height (AH)

I·O ● Denotes depth of fill

Scale 1:250

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Α	Original Issue	BRJ 26/02/2025	0m	- F	10	15	20	25
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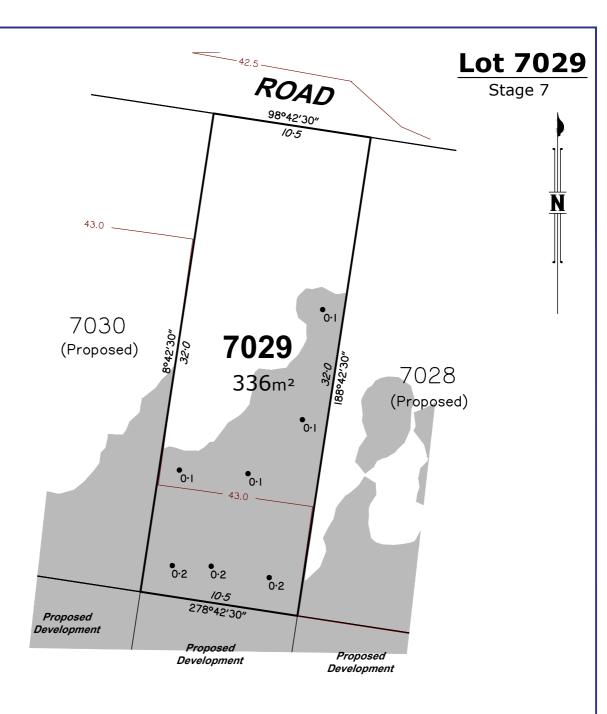
## Disclosure Plan for **Proposed Lot 7028**

7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

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1:250
ed: MJT
ed By: BRJ

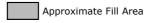


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- This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose 8. This plan shows details of Proposed Lot 7029 on proposal plan
- 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions
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Title:

## **LEGEND**

AH=0.7m



-24 — Design Contours

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Denotes retaining wall height (H)

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Scale 1:250

Α	Original Issue	BRJ 26/02/2025	000		10	15	20	
Issue	Revision	Int Date	0m	3	10	13	20	25



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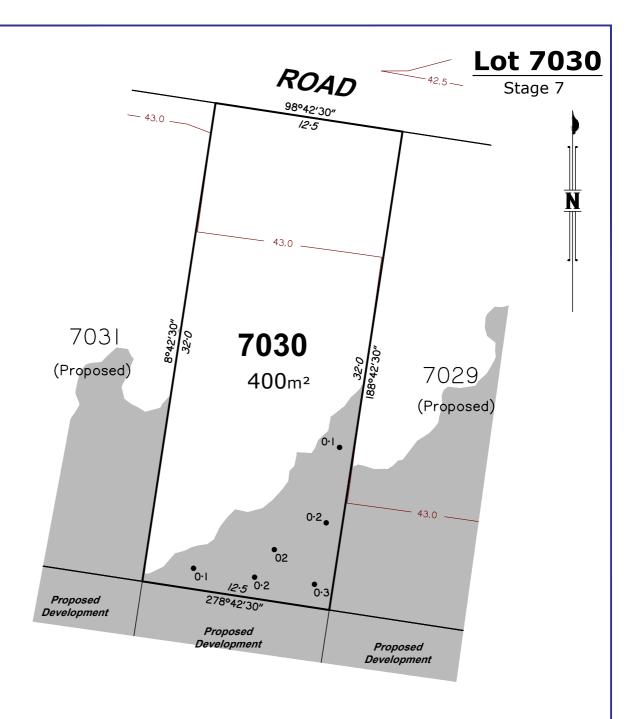
## **Disclosure Plan for Proposed Lot 7029**

7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

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Plan No:	220149 00	2 DIS			
Comp File:	220149.project				
Date Created:	26/02/2025	Scale:	1:250		
Surveyed By:		Approved:	MJT		
Local Gov:	ICC	Prepared By:	BRJ		
Locality:	WALLOON				



- Drawn to Scale on A4 sheet.
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- This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose 8. This plan shows details of Proposed Lot 7030 on proposal plan
- 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions
- The compaction of earth fill will be undertaken as advised by EGIS and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

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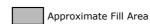
Date

Title:

## **LEGEND**

H=0.7m

AH=0.7m



-24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 24-000435 provided by Egis.

Denotes retaining wall height (H)

Denotes retaining wall average height (AH)

I·O ● Denotes depth of fill

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Scale 1:250



Original Issue Revision

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## Disclosure Plan for Proposed Lot 7030

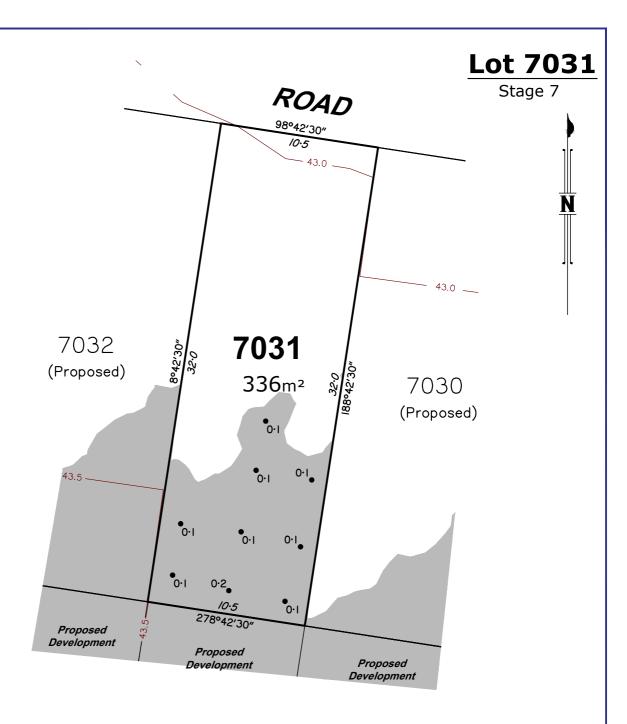
7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

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#### **ID WALLOON** Client: **DEVELOPMENTS PTY LTD**

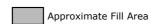
WALLOON Locality: ICC BRJ Local Gov: Prepared By: Surveyed By Approved: MJT Date Created: 26/02/2025 Scale: 1:250 Comp File: 220149.project Plan No: 220149\_002\_DIS



- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM193875, RL 46.405m AHD.
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- This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose 8. This plan shows details of Proposed Lot 7031 on proposal plan
- 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions
- 9. The compaction of earth fill will be undertaken as advised by EGIS and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

Title:

## **LEGEND**



-24 — Design Contours

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H=0.7m Denotes retaining wall height (H) AH=0.7m

Denotes retaining wall average height (AH) I•0 ● Denotes depth of fill

Scale 1:250

Α	Original Issue	BRJ 26/02/2025	0m		10	15	20	25
Issue	Revision	Int Date	0m	3	10	10	20	25

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## Disclosure Plan for Proposed Lot 7031

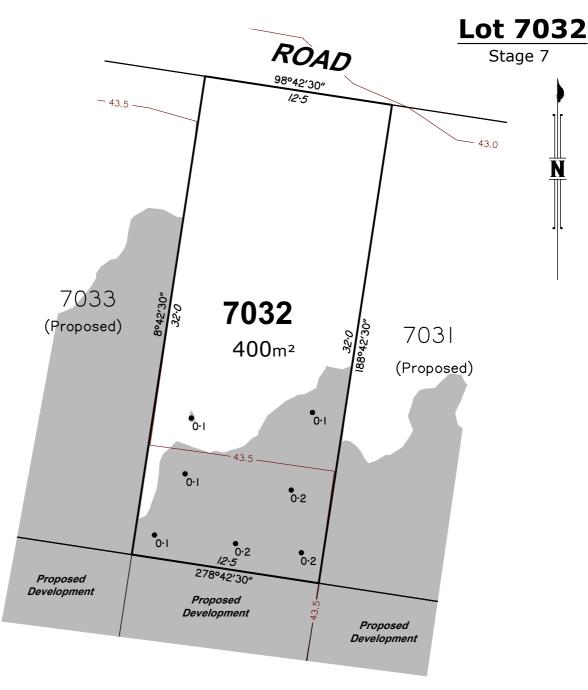
7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

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	DEVELOPMENTS PTY LTD
	MALLOON

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Date Created:	26/02/2025	Scale:	1:250		
Surveyed By:		Approved:	MJT		
Local Gov:	ICC	Prepared By:	BRJ		
Locality:	WALLOON				

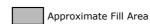


- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM193875, RL 46.405m AHD.
- Contour Interval: 0.5m Design.
- 4. Retaining wall heights are shown at the base of the wall.
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- This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose 8. This plan shows details of Proposed Lot 7032 on proposal plan
- 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions
- 9. The compaction of earth fill will be undertaken as advised by EGIS and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

Title:

## **LEGEND**

AH=0.7m



-24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on H=0.7m engineering plan 24-000435 provided by Egis.

Denotes retaining wall height (H)

Denotes retaining wall average height (AH) I·O ● Denotes depth of fill

Scale 1:250

Α	Original Issue	BRJ 26/02/2025	0m	5	10	15	20	25
Issue	Revision	Int Date	0m	5	10	13	20	25

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## Disclosure Plan for Proposed Lot 7032

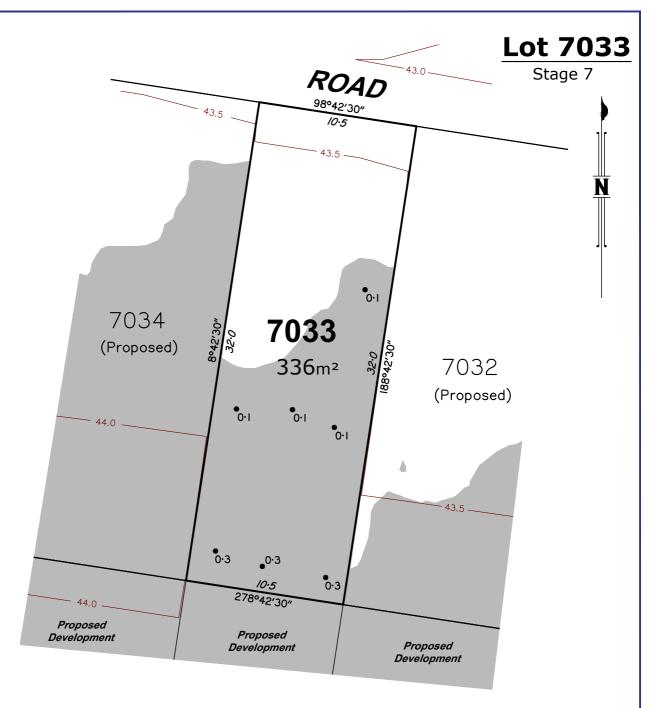
7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

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Client:	ID WALLOON
	DEVELOPMENTS PTY LTD
	MALLOON

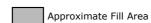
Plan No:	220149 00	2 DIS			
Comp File:	220149.project				
Date Created:	26/02/2025	Scale:	1:250		
Surveyed By:		Approved:	MJT		
Local Gov:	ICC	Prepared By:	BRJ		
Locality:	WALLOON				



- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM193875, RL 46.405m AHD.
- Contour Interval: 0.5m Design.
- 4. Retaining wall heights are shown at the base of the wall.
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- This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose 8. This plan shows details of Proposed Lot 7033 on proposal plan
- 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions
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Title:

## **LEGEND**



-24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 24-000435 provided by Egis.

H=0.7m Denotes retaining wall height (H) AH=0.7m

Denotes retaining wall average height (AH) I•0 ● Denotes depth of fill

Scale 1:250

Α	Original Issue	BRJ 26/02/2025	000		10	15	20	
Issue	Revision	Int Date	0m	3	10	13	20	25



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## Disclosure Plan for Proposed Lot 7033

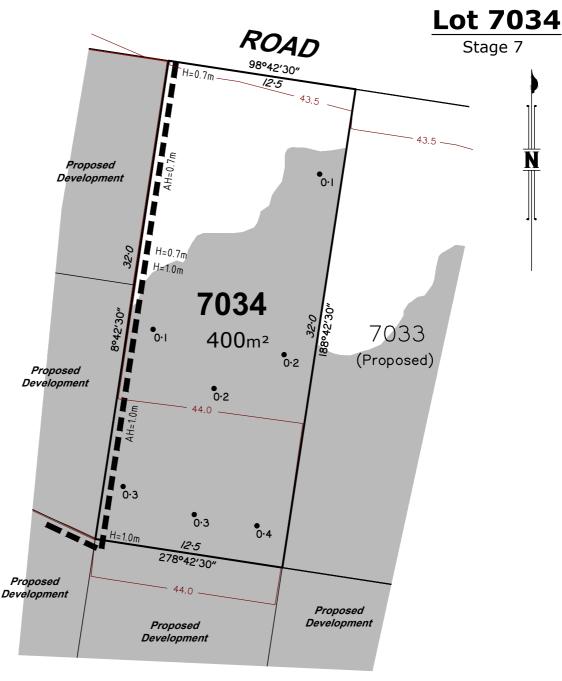
7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

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Client:	ID WALLOON
	DEVELOPMENTS PTY LTD

Plan No: <b>220149_002_DIS</b>					
Comp File:	220149.proje				
Date Created:	26/02/2025	Scale:	1:250		
Surveyed By:		Approved:	MJT		
Local Gov: ICC		Prepared By:	BRJ		
Locality:	WALLOON				



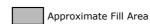
- Drawn to Scale on A4 sheet.
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- This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose 8. This plan shows details of Proposed Lot 7034 on proposal plan
- 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions
- 9. The compaction of earth fill will be undertaken as advised by EGIS and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

Title:

## **LEGEND**

H=0.7m

AH=0.7m



-24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 24-000435 provided by Egis.

Denotes retaining wall height (H)

Denotes retaining wall average height (AH) I•0 ● Denotes depth of fill

Scale 1:250

Α	Original Issue	BRJ 26/02/2025	0m	5	10	15	20	25
Issue	Revision	Int Date	0m	5	10	13	20	25

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## Disclosure Plan for Proposed Lot 7034

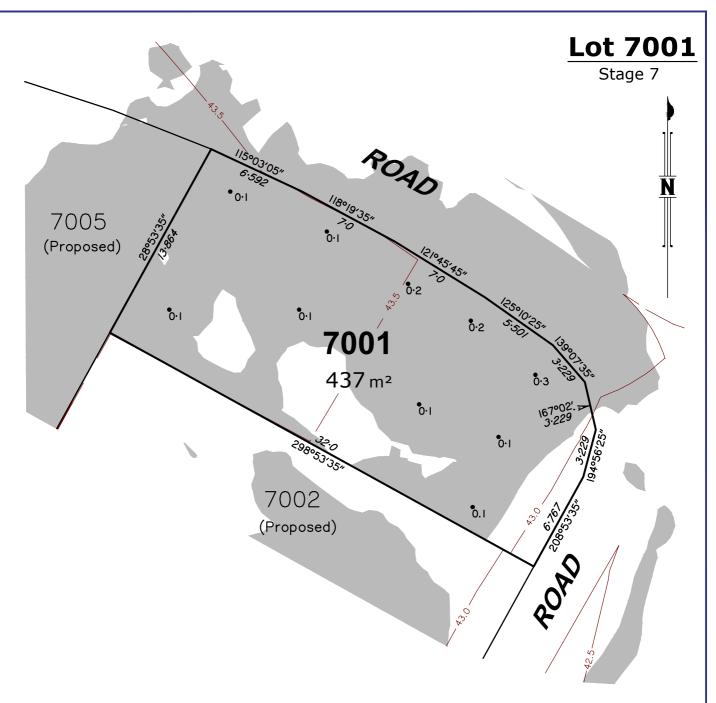
7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

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Client:	ID WALLOON
	DEVELOPMENTS PTY LTD
	MALLOON

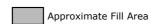
Plan No:	220149 00	2 DIS	
Comp File:	220149.proje		
Date Created:	26/02/2025	Scale:	1:250
Surveyed By:		Approved:	MJT
Local Gov:	ICC	Prepared By:	BRJ
Locality:	WALLOON		



- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM193875, RL 46.405m AHD.
- Contour Interval: 0.5m Design.
- 4. Retaining wall heights are shown at the base of the wall.
- All dimensions and areas are subject to final survey and approval by ICC. This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose 8. This plan shows details of Proposed Lot 7001 on proposal plan
- 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions
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Title:

## **LEGEND**



-24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 24-000435 provided by Egis.

Denotes retaining wall height (H)

Denotes retaining wall average height (AH) I•0 ● Denotes depth of fill

Scale 1:250

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Α	Original Issue	BRJ 26/02/2025	0m		10	15	20	25
lecu i 👝	Revision	Int Date	0m	5	10	10	20	23



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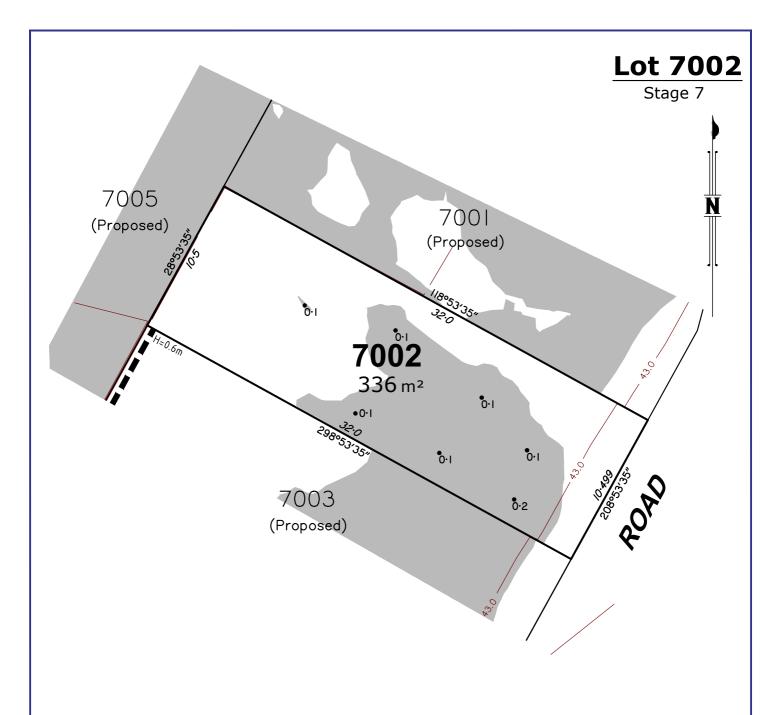
## Disclosure Plan for Proposed Lot 7001

7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

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Plan No:	220149 00	2 DIS	
Comp File:	220149.proje		
Date Created:	26/02/2025	Scale:	1:250
Surveyed By:		Approved:	MJT
Local Gov:	ICC	Prepared By:	BRJ
Locality:	WALLOON		



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- This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose 8. This plan shows details of Proposed Lot 7002 on proposal plan
- 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions
- 9. The compaction of earth fill will be undertaken as advised by EGIS and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

Title:

## **LEGEND**

H=0.7m



-24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 24-000435 provided by Egis.

Denotes retaining wall height (H)

Denotes retaining wall average height (AH) I•0 ● Denotes depth of fill

Scale 1:250

			333.5 1.233						
Α	Original Issue	BRJ 26/02/2025	0m		10	15	20	25	
Iccuro	Povision	Int Data	0m	5	10	13	20	23	

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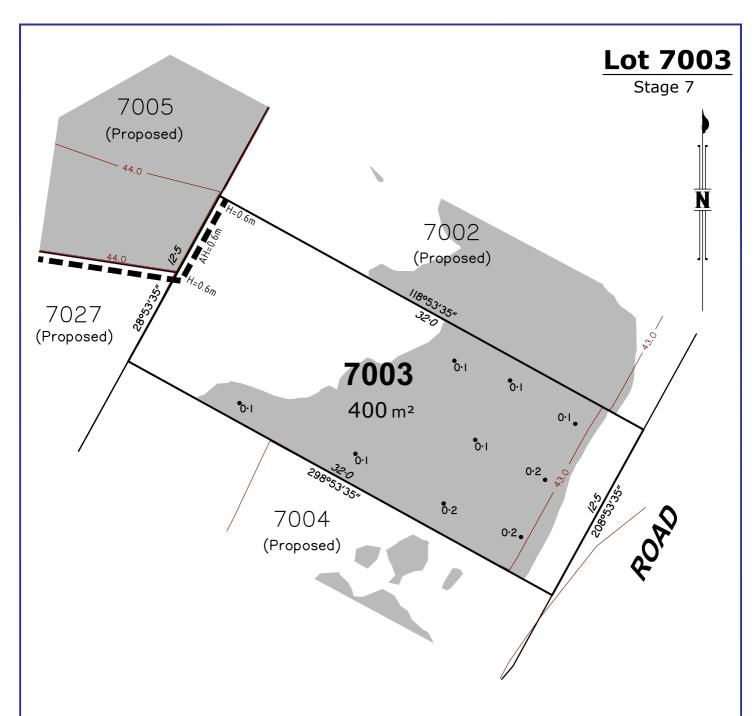
## Disclosure Plan for Proposed Lot 7002

7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

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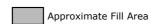
Plan No:	220149 00	פוח מ			
Comp File:	220149.project				
Date Created:	26/02/2025	Scale:	1:250		
Surveyed By:		Approved:	MJT		
Local Gov:	ICC	Prepared By:	BRJ		
Locality:	WALLOON				



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- This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose 8. This plan shows details of Proposed Lot 7003 on proposal plan
- 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions
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Title:

## **LEGEND**



-24 — Design Contours

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Denotes retaining wall height (H)

Denotes retaining wall average height (AH) I•0 ● Denotes depth of fill

Scale 1:250

Α	Original Issue	BRJ 26/02/2025	Om		10	15	20	25
Issue	Revision	Int Date	0m	J	10	13	20	23

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## Disclosure Plan for Proposed Lot 7003

7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

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Plan No:	220149 00	2 DIS			
Comp File:	220149.project				
Date Created:	26/02/2025	Scale:	1:250		
Surveyed By:		Approved:	MJT		
Local Gov:	ICC Prepared By:		BRJ		
Locality:	WALLOON				

# **Lot 7004** Stage 7 7003 (Proposed) 7027 (Proposed) 7004 0.1 544 m<sup>2</sup> 278°42′30″ 28·094 AH=0.7m 0.1 ROAD 42.0

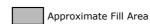
### Notes:

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- 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions
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Title:

## **LEGEND**

H=0.7m



-24 — Design Contours

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Scale 1:250

Α	Original Issue	BRJ 26/02/2025	0m		10	15	20	25
Iccuro	Povision	Int Data	0m	5	10	13	20	23

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## Disclosure Plan for Proposed Lot 7004

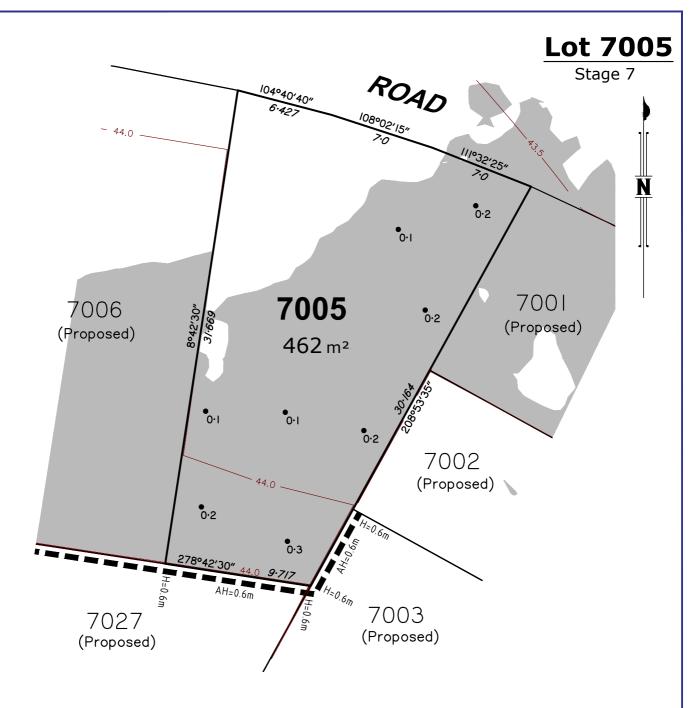
7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

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	= =
	DEVELOPMENTS PTY LTD
Client:	ID WALLOON

Plan No:	220149 00	2 DIS			
Comp File:	220149.project				
Date Created:	26/02/2025	Scale:	1:250		
Surveyed By:		Approved:	MJT		
Local Gov:	ICC	Prepared By:	BRJ		
Locality:	WALLOON				

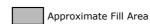


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- 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions
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Title:

## **LEGEND**

H=0.7m



-24 — Design Contours

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Scale 1:250

Α	Original Issue	BRJ 26/02/2025	Om		10	15	20	25
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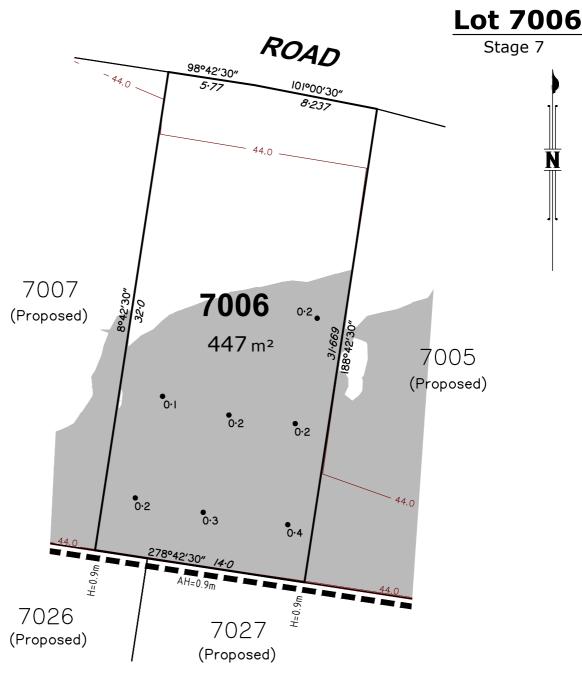
## Disclosure Plan for Proposed Lot 7005

7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

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Comp File:	220149.project				
Date Created:	26/02/2025	Scale:	1:250		
Surveyed By:		Approved:	MJT		
Local Gov:	ICC	Prepared By:	BRJ		
Locality:	WALLOON				

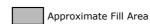


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- 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions
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Title:

## **LEGEND**

H=0.7m



-24 — Design Contours

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Denotes retaining wall average height (AH) I•0 ● Denotes depth of fill

Scale 1:250

Α	Original Issue	BRJ 26/02/2025	0m		10	15	20	25
Issue	Revision	Int Date	0m	3	10	13	20	25



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## **Disclosure Plan for** Proposed Lot 7006

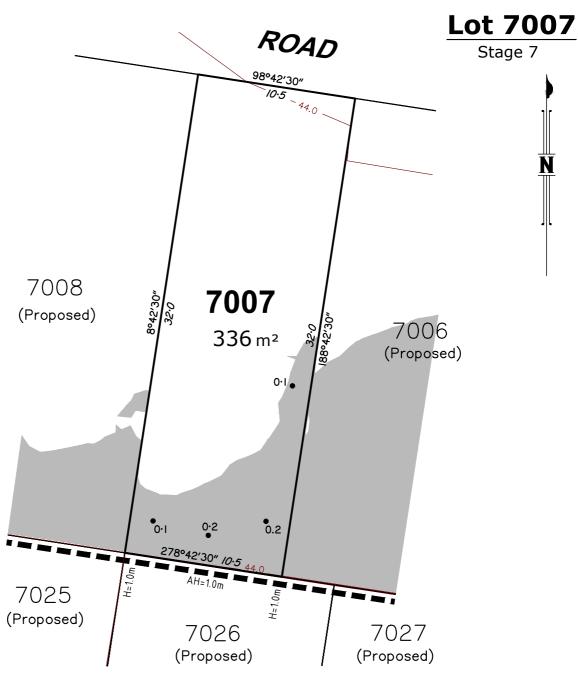
7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Ply Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 2.0%. The Lentihs and shanes depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this no

Client:	ID WALLOON
	DEVELOPMENTS PTY LTD

Plan No:	220149 00	2 DIS				
Comp File:	220149.proje	220149.project				
Date Created:	26/02/2025	Scale:	1:250			
Surveyed By:		Approved:	MJT			
Local Gov:	ICC	Prepared By:	BRJ			
Locality:	WALLOON					



- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM193875, RL 46.405m AHD.
- Contour Interval: 0.5m Design.
- 4. Retaining wall heights are shown at the base of the wall.
- All dimensions and areas are subject to final survey and approval by ICC. This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose 8. This plan shows details of Proposed Lot 7007 on proposal plan
- 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions
- 9. The compaction of earth fill will be undertaken as advised by EGIS and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

Title:

## **LEGEND**



-24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 24-000435 provided by Egis.

Denotes retaining wall height (H)

Denotes retaining wall average height (AH)

I•0 ● Denotes depth of fill

Scale 1:250

Α	Original Issue	BRJ 26/02/2025	Om		10	15	20	25
Issue	Revision	Int Date	0m	J	10	13	20	23

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## Disclosure Plan for **Proposed Lot 7007**

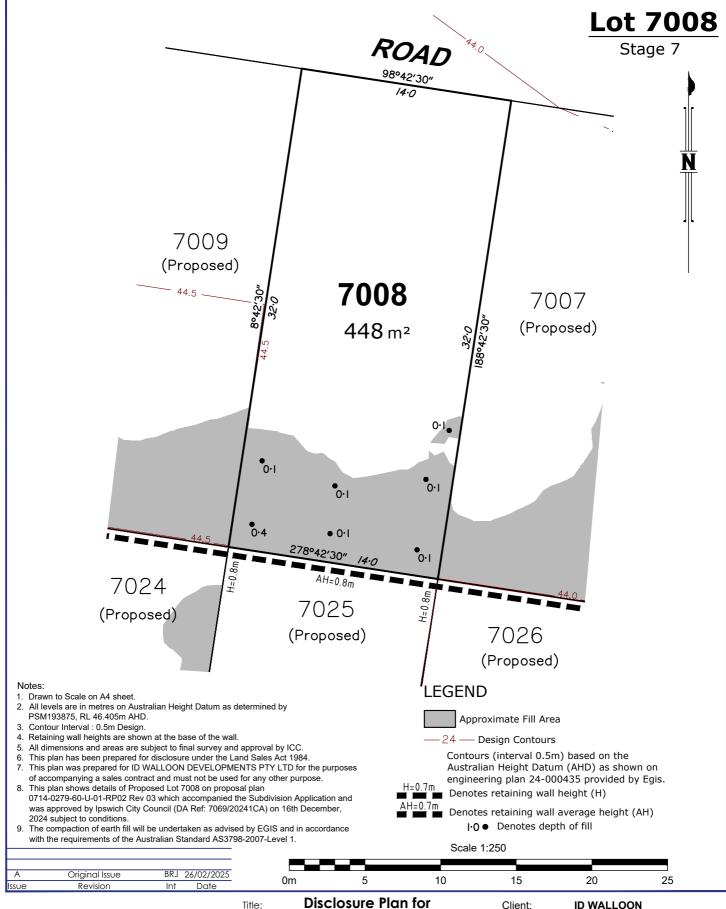
7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

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Client:	ID WALLOON
	DEVELOPMENTS PTY LTD

Plan No:	220149 00	2 DIS	
Comp File:	220149.proje	ct	
Date Created:	26/02/2025	Scale:	1:250
Surveyed By:		Approved:	MJT
Local Gov:	ICC	Prepared By:	BRJ
Locality:	WALLOON		





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# Disclosure Plan for Proposed Lot 7008

7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

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Client: ID WALLOON				
DEVELOPMENTS PTY LTD				
WALLOON				
ICC	Prepared By:	ВІ		
	DEVELOPN WALLOON	DEVELOPMENTS PTY LT		

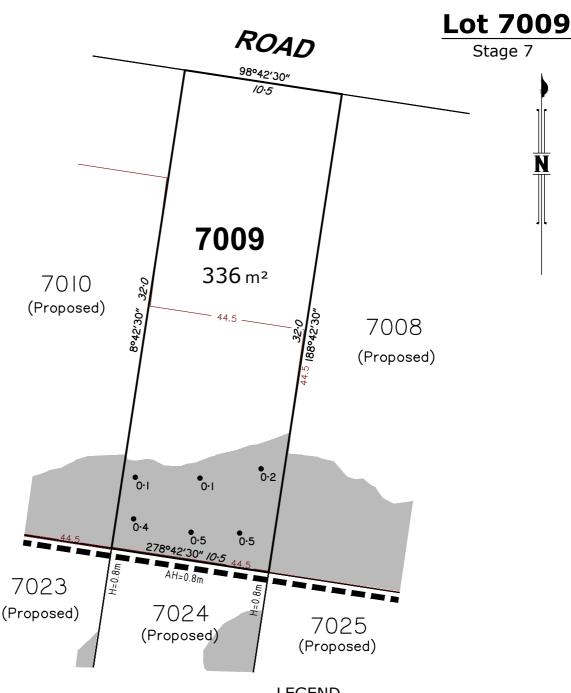
 Local Gov:
 ICC
 Prepared By:
 BRJ

 Surveyed By:
 Approved:
 MJT

 Date Created:
 26/02/2025
 Scale:
 1:250

 Comp File:
 220149.project

 Plan No:
 220149\_002\_DIS

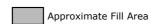


- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM193875, RL 46.405m AHD.
- Contour Interval: 0.5m Design.
- 4. Retaining wall heights are shown at the base of the wall.
- All dimensions and areas are subject to final survey and approval by ICC. This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose 8. This plan shows details of Proposed Lot 7009 on proposal plan
- 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions
- 9. The compaction of earth fill will be undertaken as advised by EGIS and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

Title:

## **LEGEND**

H=0.7m



-24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 24-000435 provided by Egis.

Denotes retaining wall height (H)

Denotes retaining wall average height (AH) I·O ● Denotes depth of fill

Scale 1:250

						00		
Α	Original Issue	BRJ 26/02/2025	0m	- F	10	15	20	25
Iccuro	Povision	Int Data	0m	5	10	15	20	25

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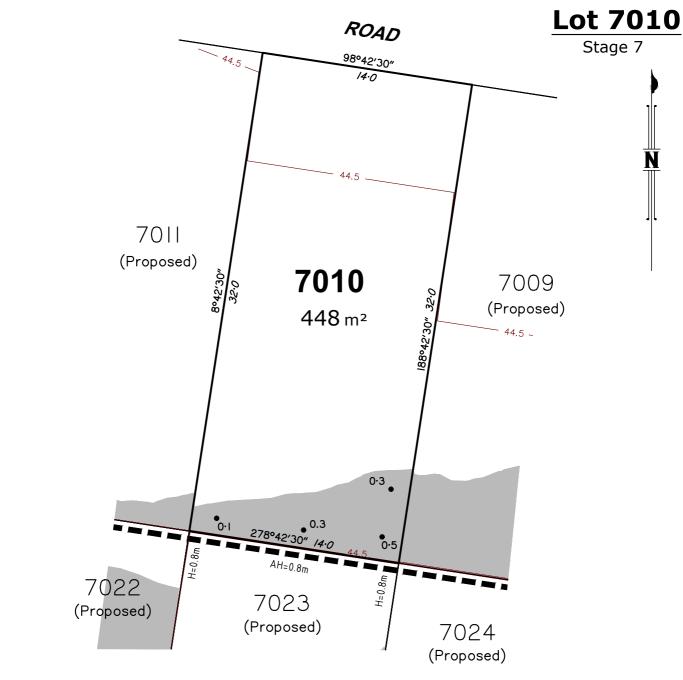
## Disclosure Plan for Proposed Lot 7009

7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

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Plan No:	220149 00	2 DIS	
Comp File:	220149.proje	ct	
Date Created:	26/02/2025	Scale:	1:250
Surveyed By:		Approved:	MJT
Local Gov:	ICC	Prepared By:	BRJ
Locality:	WALLOON		

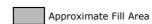


- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM193875, RL 46.405m AHD.
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- This plan was prepared for ID WALLOON DEVELOPMENTS PTY LTD for the purposes of accompanying a sales contract and must not be used for any other purpose 8. This plan shows details of Proposed Lot 7010 on proposal plan
- 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions
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Title:

## **LEGEND**

H=0.7m



-24 — Design Contours

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Scale 1:250

Α	Original Issue	BRJ 26/02/2025	Om		10	15	20	25
Issue	Revision	Int Date	0m	J	10	13	20	23



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## Disclosure Plan for Proposed Lot 7010

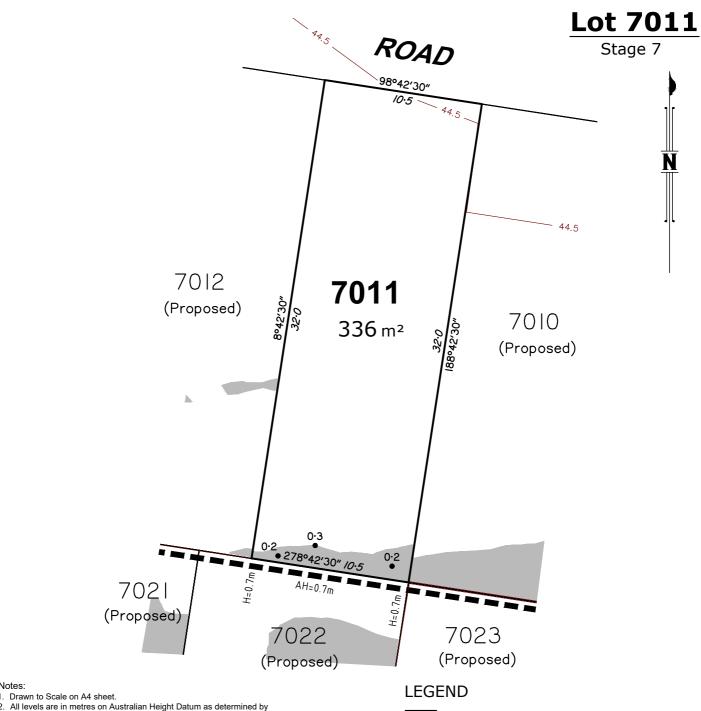
7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

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Client:	ID WALLOON
	DEVELOPMENTS PTY LTD

220149_002_DIS		
1:250		
ed: MJT		
ed By: BRJ		



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- 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions
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Scale 1:250

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I·O ● Denotes depth of fill

15 20 25

BRJ 26/02/2025 Original Issue Revision Int Date



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## Disclosure Plan for Proposed Lot 7011

0m

Title:

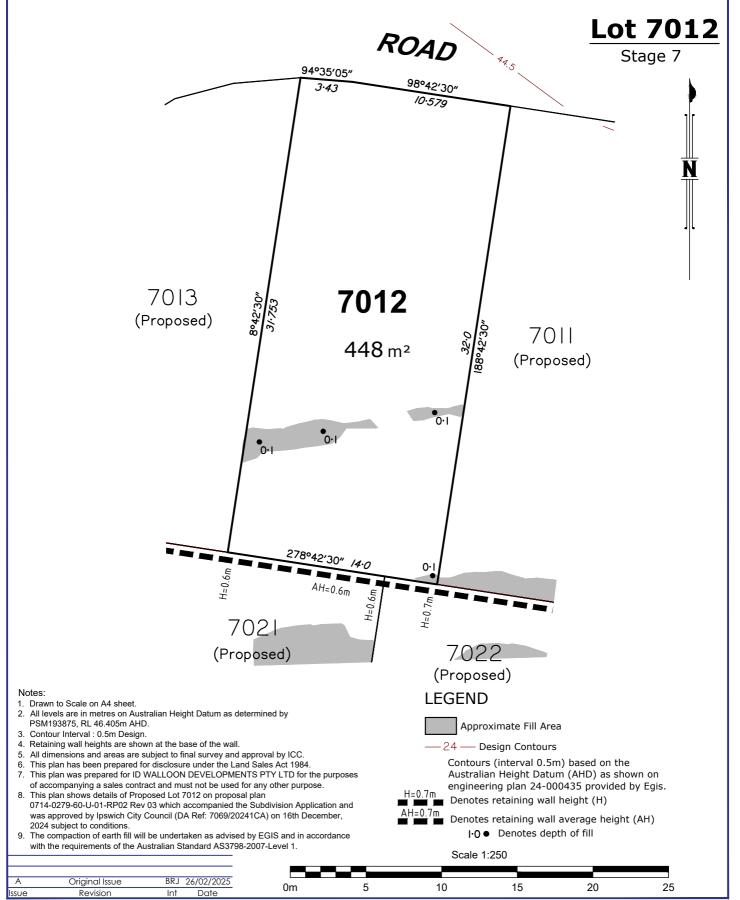
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Client:	ID WALLOON
	DEVELOPMENTS PTY LTD
Locality	MALLOON

Plan No:	220149 00	2 DIS	
Comp File:	220149.proje	ct	
Date Created:	26/02/2025	Scale:	1:250
Surveyed By:		Approved:	MJT
Local Gov:	ICC	Prepared By:	BRJ
Locality:	WALLOON		





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# Disclosure Plan for Proposed Lot 7012

Title:

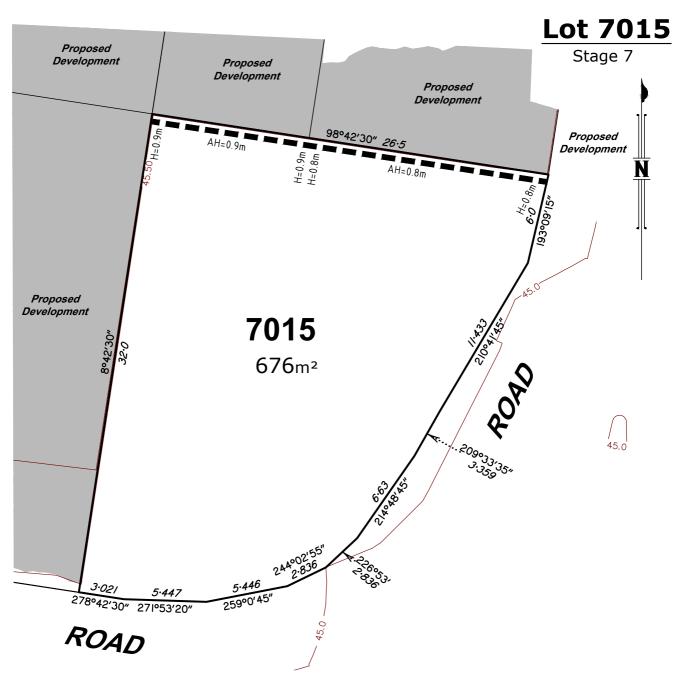
7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

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Client:	ID WALLOON
	DEVELOPMENTS PTY LTD
Locality:	WALLOON

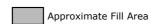
Plan No:	220149 00	פוח פו	
Comp File:	220149.proje	ct	
Date Created:	26/02/2025	Scale:	1:250
Surveyed By:		Approved:	MJT
Local Gov:	ICC	Prepared By:	BRJ
Locality:	WALLOON		



- Drawn to Scale on A4 sheet.
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- 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions
- 9. The compaction of earth fill will be undertaken as advised by EGIS and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

Title:

## **LEGEND**



-24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 24-000435 provided by Egis.

Denotes retaining wall height (H)

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Scale 1:250

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В	Truncation Adjustment	SCO 25/03/2025					
Α	Original Issue	BRJ 26/02/2025	0m		10	15	20
Issue	Revision	Int Date	0m	5	10	15	20

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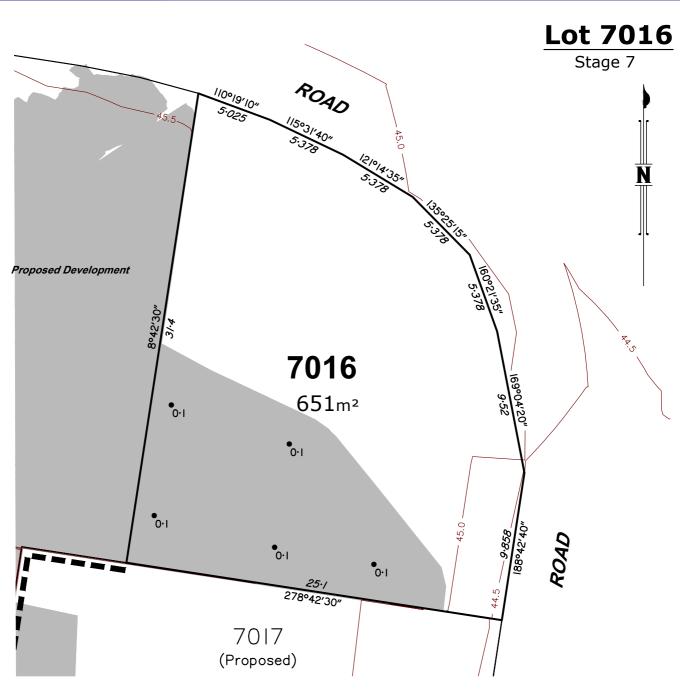
## Disclosure Plan for Proposed Lot 7015

7001 Taylors Road, Walloon,

Being Part of Lot 4 on SP343972 & Lot 1 on SP331698

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Date Created:	26/02/2025	Scale:	1:250
Surveyed By:		Approved:	MJT
Local Gov:	ICC	Prepared By:	BRJ
Locality:	WALLOON		



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- 0714-0279-60-U-01-RP02 Rev 03 which accompanied the Subdivision Application and was approved by Ipswich City Council (DA Ref: 7069/20241CA) on 16th December, 2024 subject to conditions
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Title:

## **LEGEND**



-24 — Design Contours

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Denotes retaining wall average height (AH)

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Scale 1:250

			Codic 1.200					
В	Truncation Adjusment	SCO 25/03/2025						
Α	Original Issue	BRJ 26/02/2025	0m		10	15	20	
Issue	Revision	Int Date	0m	5	10	15	20	

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## Disclosure Plan for Proposed Lot 7016

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	DEVELOPMENTS PTY LTD

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Comp File: 220149.project					
Date Created:	26/02/2025	Scale:	1:250		
Surveyed By:		Approved:	MJT		
Local Gov:	ICC	Prepared By:	BRJ		
Locality:	WALLOON				