

REFERENCE MARKS

Stn	To	Origin	Bearing	Dist
1	OIP	4/SP334432	15°19'	1.478
1	O Screw in Hdwl	4/SP334432	283°29'30"	59.413
1	O Screw in Conc	1/IS323632	32°12'	5.33
2	OIP	2/IS323632	68°15'	8.015

PERMANENT MARKS

PM	Number	Bearing	Distance	Origin	Type
1 - OPM	67023	278°42'10"	140.96	33/SP333862	
17a - OPM (New Conn)	204968	182°33'	79.255	2a/IS321638	
17a - OPM (New Conn)	204967	206°14'	189.28	2a/IS321638	

MGA COORDINATES GDA2020

Station	East	North	Zone	P.U.	Lineage	Method	Adjustment
PM67023	465 520.671	6 947 750.463	56	0.017	Datum		QLD ANJ 24.07
PM204967	465 623.925	6 947 277.451	56	0.017	Datum		QLD ANJ 24.07
PM204968	465 704.036	6 947 368.023	56	0.017	Datum		QLD ANJ 24.07

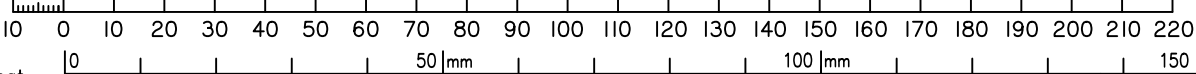
Area of New Road
Total Area 5967m²

See Sheet 3 for Lots 802–814 & 830–836.
See Sheet 4 for Lots 466, 782–784, 815–828 & 901.

In accordance with Section 3.22 of the Cadastral Survey Requirements, corners have not been marked. For corner marks and reference marks see IS325261.

Reinstatement Report:
This plan is part of a staged development & has been prepared in accordance with section 3.22 of the Cadastral Survey Requirements.
This plan is part of the package of survey work relating to Departmental survey advice reference 2022–1722.
This plan follows on from initial surround plan IS315959 & SP342606 from which there are no changes in dimensions.
Deposited survey records contain MGA GDA–2020 coordinates of Lots 466, 782–784, 802–828, 830–836 & 901.

Scale 1:1500 Lengths are in Metres



VERIS AUSTRALIA PTY LTD (ACN 615 735 727) hereby certify that the land comprised in this plan was surveyed by the corporation, by Daniel Michael John COOK, Surveying Graduate, for whose work the corporation accepts responsibility, under the supervision of Graham James LINDSAY, Cadastral Surveyor, and that the plan is accurate, that the said survey was performed in accordance with the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the said survey was completed on 24/09/2024

..... Delegate
..... Date

Plan of Lot 466, 782–784,
802–828, 830–836 & 901

Cancelling Lot 6 on SP341606

LOCAL GOVERNMENT: *IPSWICH CITY COUNCIL*

LOCALITY: *WALLOON*

Meridian: *MGA Zone 56, Vide PSMs*

Survey Records: Yes

Scale: 1:1500

Format: STANDARD

SP346078

Land Title Act 1994; Land Act 1994
Form 21B Version 2

WARNING : Folded or Mutilated Plans will not be accepted.
Plans may be rolled.
Information may not be placed in the outer margins.

Sheet
2of
4

(Dealing No.)

4. Lodged by

(Include address, phone number, email, reference, and Lodger Code)

1. Existing

Created

Title Reference	Description	New Lots	Road	Secondary Interests
51344162	Lot 6 on SP341606	466, 782–784, 802–828, 830–836 & 901	New Rd	

MORTGAGE ALLOCATIONS

Mortgage	Lots Fully Encumbered	Lots Partially Encumbered
722059142	466, 782-784, 802-828, 830-836 & 901	

Easements 723110915 & 723110916 (Emt DG on SP341606)
are to be surrendered prior to the registration of this plan.

466, 782-784, 802-828,
830-836 & 901

Por 298

Lots	Orig

2. Orig Grant Allocation:

3. References :
Dept File :
Local Govt :
Surveyor : 401905–00002
Surveyor Advice: 2022–1722

5. Passed & Endorsed :
By : Veris Australia Pty Ltd
Date :
Signed :
Designation : Delegate

6. Building Format Plans only.
I certify that :
* As far as it is practical to determine, no part of the building shown on this plan encroaches onto adjoining lots or road;
*Part of the building shown on this plan encroaches onto adjoining *lots and road

.....
Cadastral Surveyor/Delegate * Date
*delete words not required

7. Lodgement Fees :
Survey Deposit \$
Lodgement \$
..... New Titles \$
Photocopy \$
Postage \$
TOTAL \$

8. Insert Plan Number
SP346078

401905–00002



