

LEGEND

GENERAL

- PROPERTY BOUNDARY
- STAGING

YIELD

>500m ² LOTS	1 TOTAL
450-500m ² LOTS	13 TOTAL
445-449m ² LOTS	3 TOTAL
400-444m ² LOTS	10 TOTAL
300-399m ² LOTS	36 TOTAL

TOTAL RESIDENTIAL LOTS 63 TOTAL

ACCESS AND CIRCULATION

- ROAD VERGE
- ACCESS STREET
- COLLECTOR STREET

OPEN SPACE

- PEDESTRIAN LINK
- BOLLARDS
- BUILDING EXCLUSION ZONE
- PADMOUNT TRANSFORMER

DEVELOPMENT YIELD

RESIDENTIAL AREAS	= 2.497 ha = 74.9 %
ROAD AREA - INCLUDING VERGE & PATHS	= 0.751 ha = 22.5%
PEDESTRIAN LINK	= 0.085 ha = 2.6%
TOTAL SITE AREA	= 3.333 ha = 100%

DENSITY

DWELLING DENSITY OF DAWN ESTATE	= 15 LOT/HA
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The existing lot configuration on 126 and 132 Taylors Road, Walloon will not be altered by the proposed development.

Staging

Stage 1 - Lots 774-781 and 785-801

Stage 2 - Lots 782-784 and 802-836

Pursuant to the
Planning Act 2016, this plan
forms part of Council's
approval for

Approval No.: 19984/2021/MAMC/A

Date: 13 June 2024



LEGEND

GENERAL

- PROPERTY BOUNDARY
- STAGING
- BUILDING ENVELOPE
- OPTIONAL BUILT TO BOUNDARY WALL
- PREFERRED DRIVEWAY/GARAGE LOCATION (DOUBLE, SINGLE OR TANDEM)
- INDICATIVE PREFERRED LOCATION OF OPEN SPACE

YIELD

- >500m²
- 450-500m² LOTS
- 445-449m² LOTS
- 400-444m² LOTS
- 300-399m² LOTS

ACCESS AND CIRCULATION

- ROAD VERGE
- ACCESS STREET
- COLLECTOR STREET

OPEN SPACE

- PEDESTRIAN LINK
- BOLLARDS
- BUILDING EXCLUSION ZONE
- PADMOUNT TRANSFORMER

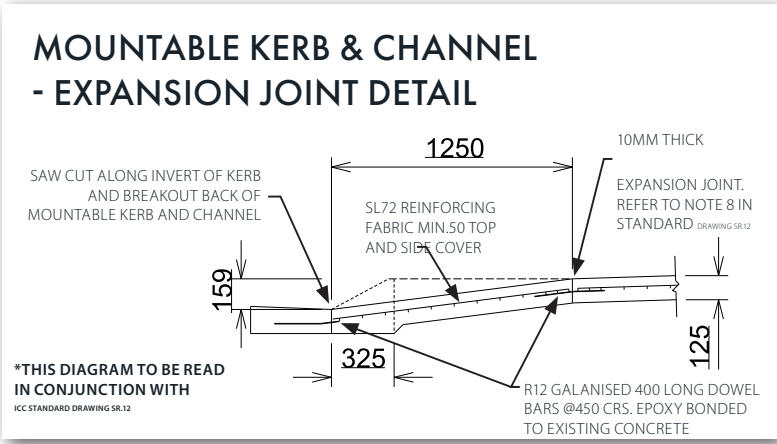
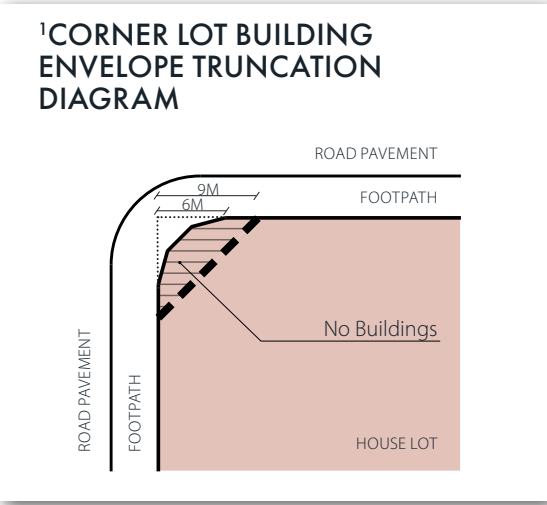


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ALLOTMENTS SET			
Allotment type		Detached	
BUILDING ENVELOPE			
FRONT SETBACKS			
Front setback (Primary frontage)	To front building line/dwelling wall	3.5m	
	To outermost projection	3.0m	
	To garage door	4.9m	
REAR SETBACK TO Outmost projection (OMP)			
Rear setback to OMP	Ground floor	0.9m	
	First floor (if applicable) above 4.5m	1.5m	
SIDE SETBACKS			
Side setback to wall Built to boundary walls (Optional)	Ground floor	0.0m	
Side setback to OMP Non built to boundary walls	Ground floor	Frontage ≤ 12.5m	Frontage > 12.5m
		0.55m	0.9m
	First floor (if applicable) above 4.5m	1.5m	
CORNER SETBACKS			
Corner lot setback to wall	Minimum side setback for Access Place and Access Street	1.0m	
	Minimum side setback for Collector Street	2.0m	
	Truncation ¹	6.0m x6.0m	



ALLOTMENTS SET		
GARAGES, SITE COVER, POS, HEIGHT, WALL LENGTHS		
Preferred garage location	As indicated on the Plan of Development	
Garages	Single, tandem, or double. Garages, carports and other parking structures are sited such that they are located behind the front building setback and designed so as not to dominate the street frontage. Third garages may be constructed if set back a minimum of 500mm behind the main garage. Triple garages cannot span more than 50% of the width of the lot.	
Site Cover	Max. 60%	
Private open space (POS)	Minimum 16m² at ground level Min. dimension 2m for lot widths ≤10.5m Min. dimension 4m for low widths >10.5m	
Maximum length and height of built to boundary wall	15m long and max 3.5m high	
Fencing front	Primary	1200mm high, or 1800mm high with 50% transparency; Front facing fencing must be located 600mm behind the façade of the side the fence is on.
	Secondary	1200mm high; or 1800m high if the fence has a solid appearance to 1200mm high and comprises a transparent element to 600mm (50% transparent solid to openings);
	Side & Rear	Max 1800mm;
	Adjoining parkland/ drainage reserve	1200mm high; or 1800m high if the fence has a solid appearance to 1200mm high and comprises a transparent element to 600mm (50% transparent solid to openings); or 1500mm pool fence style construction.
Building design	For legibility, entries to buildings must be exposed to the main street frontage and be clearly delineated/legible. Building Design, detailing and finishes must provide an appropriate scale to the street and visual interest.	
Street frontage	Buildings must address primary and (if applicable) secondary street frontages. Where applicable, buildings must address parks/open space.	
Eaves	Eaves, except on a built to boundary wall, should not encroach within 550mm of the side or rear property boundary.	

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LEGEND

GENERAL

- PROPERTY BOUNDARY
- 1.5m FOOTPATH
- 2.0m FOOTPATH
- STAGING
- PREFERRED DRIVEWAY/GARAGE LOCATION (DOUBLE, SINGLE OR TANDEM)

ACCESS AND CIRCULATION

- ROAD VERGE
- ACCESS STREET
- COLLECTOR STREET

OPEN SPACE

- PEDESTRIAN LINK
- BOLLARDS
- BUILDING EXCLUSION ZONE
- PADMOUNT TRANSFORMER

FENCING

- Fencing along the common boundary of any pedestrian path and proposed residential lot is to be 1200mm high; or 1800mm high if the fence has a solid appearance to 1200mm high and comprises a transparent element to 600mm (50% transparent solid to openings); or 1500mm pool fence style construction

- 1.8m high privacy fence

Landscaping within the verge on Taylors Road is to consist of turf and/or low maintenance plantings for the full frontage exclusive of the footpath area.

The applicant must provide individual pedestrian connections between proposed Lots 802-806 and Taylors Road in accordance with Diagram B in section 22D in Table 12.5.2 of the Reconfiguring a Lot Code.

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A horizontal number line with arrows at both ends. It is marked with the numbers 0, 15, 30, and 60. A solid vertical tick mark is at 15, and a solid vertical tick mark is at 30. A horizontal line segment connects the tick mark at 15 to the tick mark at 30, representing the jump in the number line.