

LEGEND

GENERAL

- PROPERTY BOUNDARY
- STAGING

YIELD

	>500m ² LOTS	1 TOTAL
	450-500m ² LOTS	13 TOTAL
	445-449m ² LOTS	3 TOTAL
	400-444m ² LOTS	10 TOTAL
	300-399m ² LOTS	36 TOTAL

TOTAL RESIDENTIAL LOTS **63 TOTAL**

ACCESS AND CIRCULATION

- ROAD VERGE
- ACCESS STREET
- COLLECTOR STREET

OPEN SPACE

- PEDESTRIAN LINK
- BOLLARDS
- BUILDING EXCLUSION ZONE
- PADMOUNT TRANSFORMER

DEVELOPMENT YIELD

RESIDENTIAL AREAS	= 2.497 ha = 74.9 %
ROAD AREA - INCLUDING VERGE & PATHS	= 0.751 ha = 22.5%
PEDESTRIAN LINK	= 0.085 ha = 2.6%
TOTAL SITE AREA	= 3.333 ha = 100%

DENSITY

DWELLING DENSITY OF DAWN ESTATE = 15 LOT/HA

The existing lot configuration on 126 and 132 Taylors Road, Walloon will not be altered by the proposed development.

Staging
 Stage 1 - Lots 774-781 and 785-801
 Stage 2 - Lots 782-784 and 802-836

Pursuant to the *Planning Act 2016*, this plan forms part of Council's approval for
Approval No.: 19984/2021/MAMC/A
Date: 13 June 2024



Drawing Title	Project Name	Drawing No.	Revision	Date	Drawn	Checked	Project Principal	Scale
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LEGEND

GENERAL

- PROPERTY BOUNDARY
- STAGING
- BUILDING ENVELOPE
- OPTIONAL BUILT TO BOUNDARY WALL
- PREFERRED DRIVEWAY/GARAGE LOCATION (DOUBLE, SINGLE OR TANDEM)
- INDICATIVE PREFERRED LOCATION OF OPEN SPACE

YIELD

- >500m²
- 450-500m² LOTS
- * 445-449m² LOTS
- 400-444m² LOTS
- 300-399m² LOTS

ACCESS AND CIRCULATION

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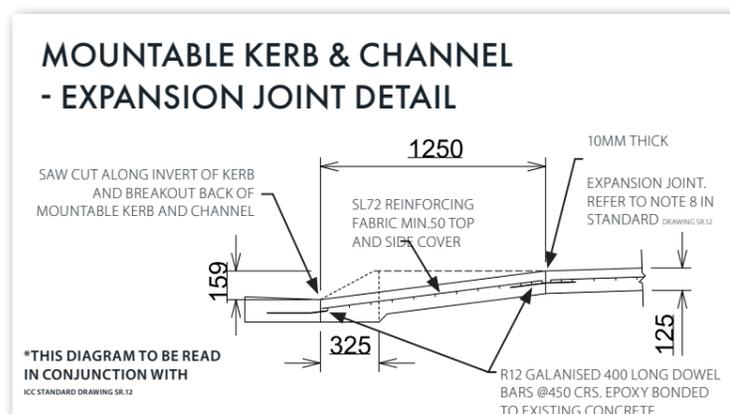
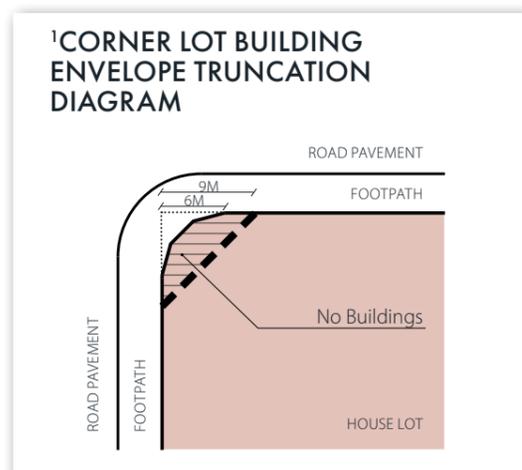
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BUILDING ENVELOPE DETACHED DWELLINGS

ALLOTMENTS SET			
Allotment type		Detached	
BUILDING ENVELOPE			
FRONT SETBACKS			
Front setback (Primary frontage)	To front building line/dwelling wall	3.5m	
	To outermost projection	3.0m	
	To garage door	4.9m	
REAR SETBACK TO Outmost projection (OMP)			
Rear setback to OMP	Ground floor	0.9m	
	First floor (if applicable) above 4.5m	1.5m	
SIDE SETBACKS			
Side setback to wall Built to boundary walls (Optional)	Ground floor	0.0m	
Side setback to OMP Non built to boundary walls	Ground floor	Frontage ≤ 12.5m	Frontage > 12.5m
		0.55m	0.9m
	First floor (if applicable) above 4.5m	1.5m	
CORNER SETBACKS			
Corner lot setback to wall	Minimum side setback for Access Place and Access Street	1.0m	
	Minimum side setback for Collector Street	2.0m	
	Truncation ¹	6.0m x6.0m	



ALLOTMENTS SET		
GARAGES, SITE COVER, POS, HEIGHT, WALL LENGTHS		
Preferred garage location	As indicated on the Plan of Development	
Garages	Single, tandem, or double. Garages, carports and other parking structures are sited such that they are located behind the front building setback and designed so as not to dominate the street frontage. Third garages may be constructed if set back a minimum of 500mm behind the main garage. Triple garages cannot span more than 50% of the width of the lot.	
Site Cover	Max. 60%	
Private open space (POS)	Minimum 16m ² at ground level Min. dimension 2m for lot widths ≤10.5m Min. dimension 4m for low widths >10.5m	
Maximum length and height of built to boundary wall	15m long and max 3.5m high	
Fencing front	Primary	1200mm high, or 1800mm high with 50% transparency; Front facing fencing must be located 600mm behind the façade of the side the fence is on.
	Secondary	1200mm high; or 1800m high if the fence has a solid appearance to 1200mm high and comprises a transparent element to 600mm (50% transparent solid to openings);
	Side & Rear	Max 1800mm;
	Adjoining parkland/ drainage reserve	1200mm high; or 1800m high if the fence has a solid appearance to 1200mm high and comprises a transparent element to 600mm (50% transparent solid to openings); or 1500mm pool fence style construction.
Building design	For legibility, entries to buildings must be exposed to the main street frontage and be clearly delineated/legible. Building Design, detailing and finishes must provide an appropriate scale to the street and visual interest.	
Street frontage	Buildings must address primary and (if applicable) secondary street frontages. Where applicable, buildings must address parks/open space.	
Eaves	Eaves, except on a built to boundary wall, should not encroach within 550mm of the side or rear property boundary.	

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LEGEND

GENERAL

- PROPERTY BOUNDARY
- 1.5m FOOTPATH
- 2.0m FOOTPATH
- STAGING
- PREFERRED DRIVEWAY/GARAGE LOCATION (DOUBLE, SINGLE OR TANDEM)

ACCESS AND CIRCULATION

- ROAD VERGE
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FENCING

Fencing along the common boundary of any pedestrian path and proposed residential lot is to be 1200mm high; or 1800mm high if the fence has a solid appearance to 1200mm high and comprises a transparent element to 600mm (50% transparent solid to openings); or 1500mm pool fence style construction

1.8m high privacy fence

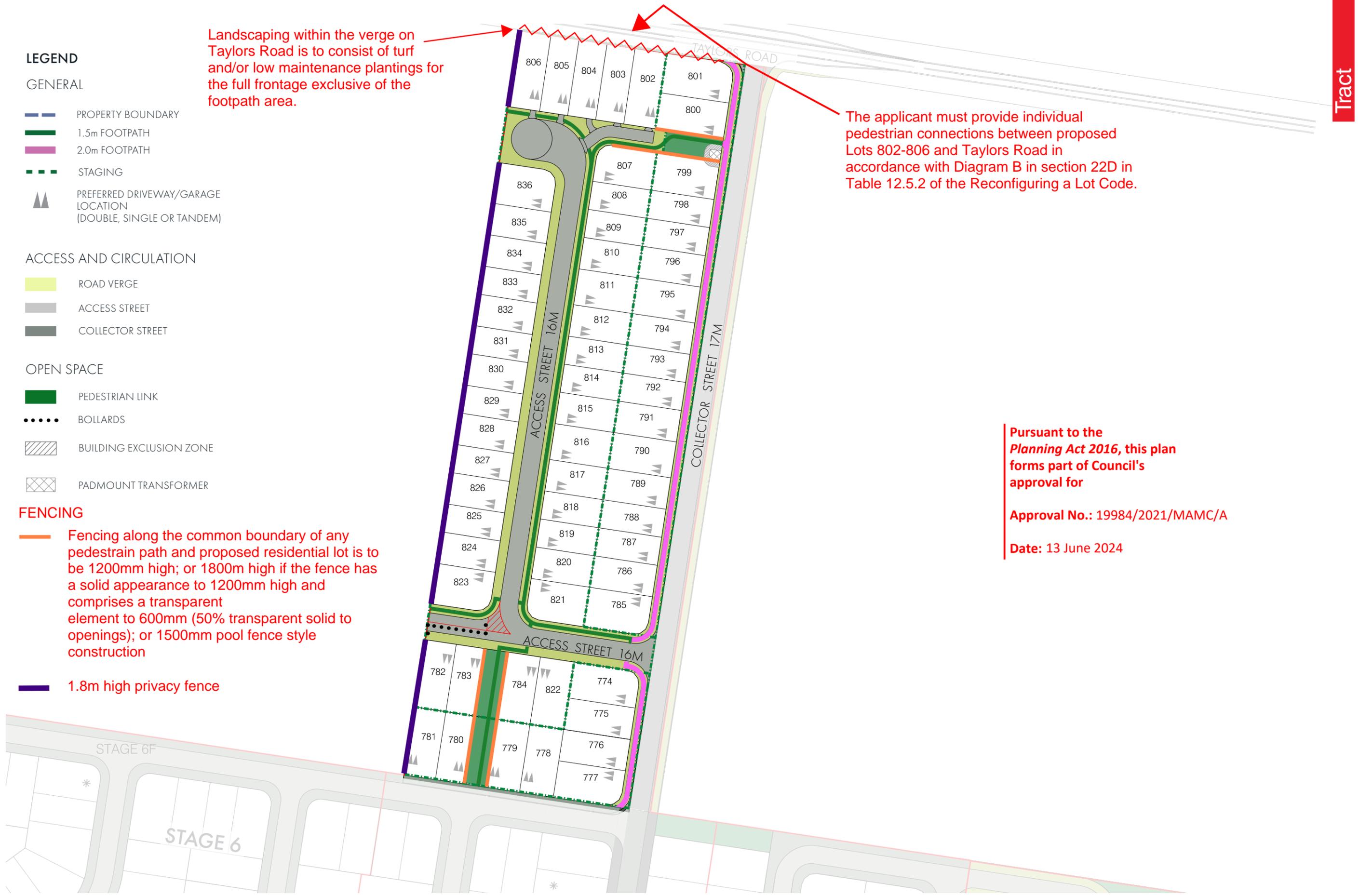
Landscaping within the verge on Taylors Road is to consist of turf and/or low maintenance plantings for the full frontage exclusive of the footpath area.

The applicant must provide individual pedestrian connections between proposed Lots 802-806 and Taylors Road in accordance with Diagram B in section 22D in Table 12.5.2 of the Reconfiguring a Lot Code.

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GIBBS FOOTPATH PLAN	DAWN GIBBS	0714-0279-50-D002	06	26.03.2024	AC	MK	MH	1:1500 (A3)



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DEVELOPMENT YIELD

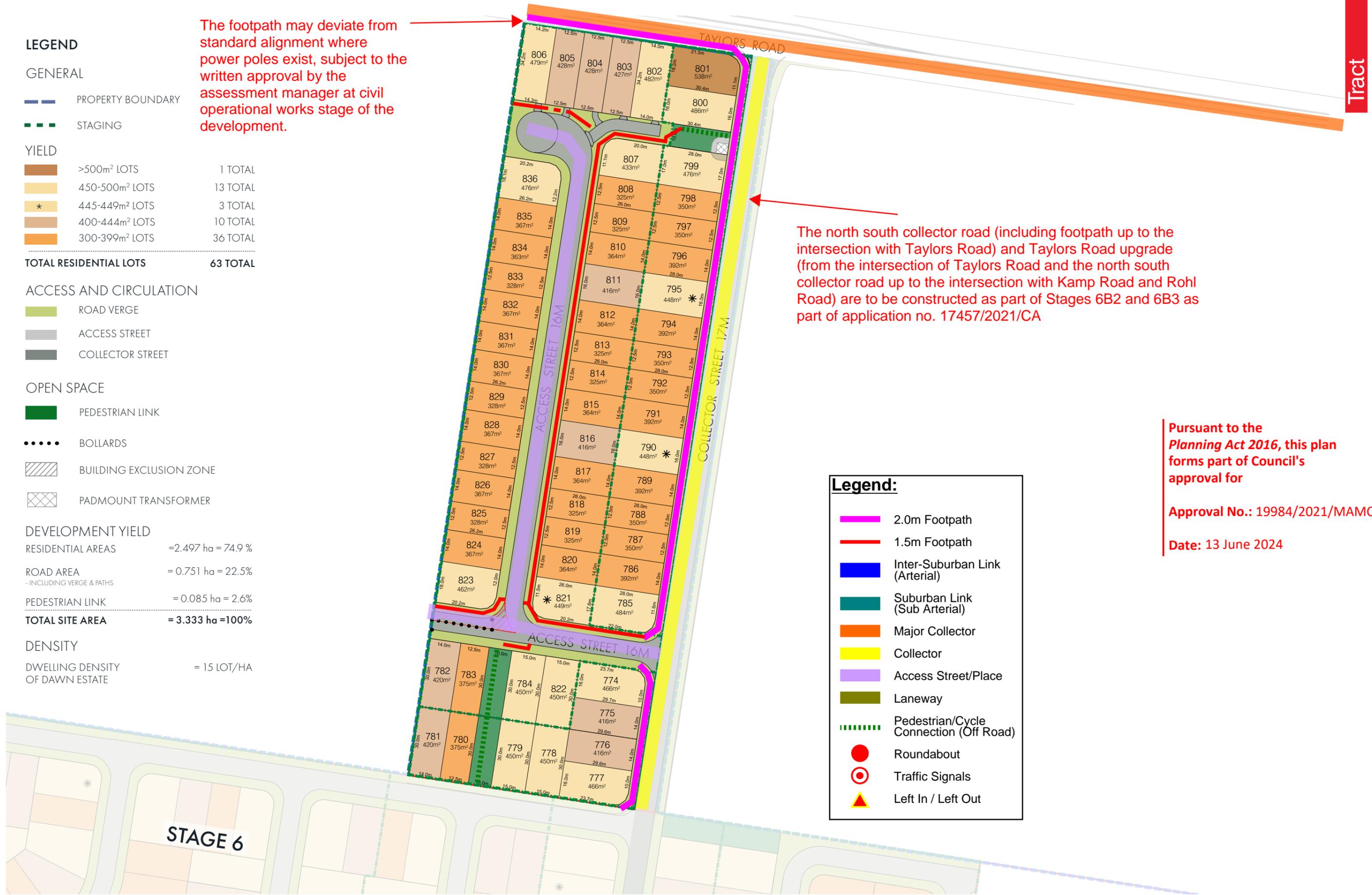
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The footpath may deviate from standard alignment where power poles exist, subject to the written approval by the assessment manager at civil operational works stage of the development.

The north south collector road (including footpath up to the intersection with Taylors Road) and Taylors Road upgrade (from the intersection of Taylors Road and the north south collector road up to the intersection with Kamp Road and Rohl Road) are to be constructed as part of Stages 6B2 and 6B3 as part of application no. 17457/2021/CA



Legend:

- 2.0m Footpath
- 1.5m Footpath
- Inter-Suburban Link (Arterial)
- Suburban Link (Sub Arterial)
- Major Collector
- Collector
- Access Street/Place
- Laneway
- Pedestrian/Cycle Connection (Off Road)
- Roundabout
- Traffic Signals
- Left In / Left Out

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