



Pursuant to the **Planning Act 2016**, this plan forms part of Council's approval for

**Approval No.:** 12097/2023/CA

**Date:** 19 June 2024

**LEGEND**

GENERAL

- — PROJECT SITE BOUNDARY
- [ ] BOUNDARY
- — EXISTING STAGE BOUNDARIES
- WATERCOURSE
- FUTURE WESTERN IPSWICH BYPASS

Drawing Title	Project Name	Drawing No.	Revision	Date	Drawn	Checked	Project Principal	Scale
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**LEGEND**

GENERAL

- PROPERTY BOUNDARY
- BOUNDARY

YIELD

- 450m<sup>2</sup> AND GREATER Lots    6 TOTAL
- 445-449m<sup>2</sup> Lots    1 TOTAL
- 400-444m<sup>2</sup> Lots    4 TOTAL
- 300-399m<sup>2</sup> Lots    9 TOTAL

**TOTAL RESIDENTIAL LOTS    20 TOTAL**

ACCESS AND CIRCULATION

- ROAD VERGE
- ACCESS STREET  
16m ROAD RESERVE
- PEDESTRIAN/DRAINAGE CONNECTION

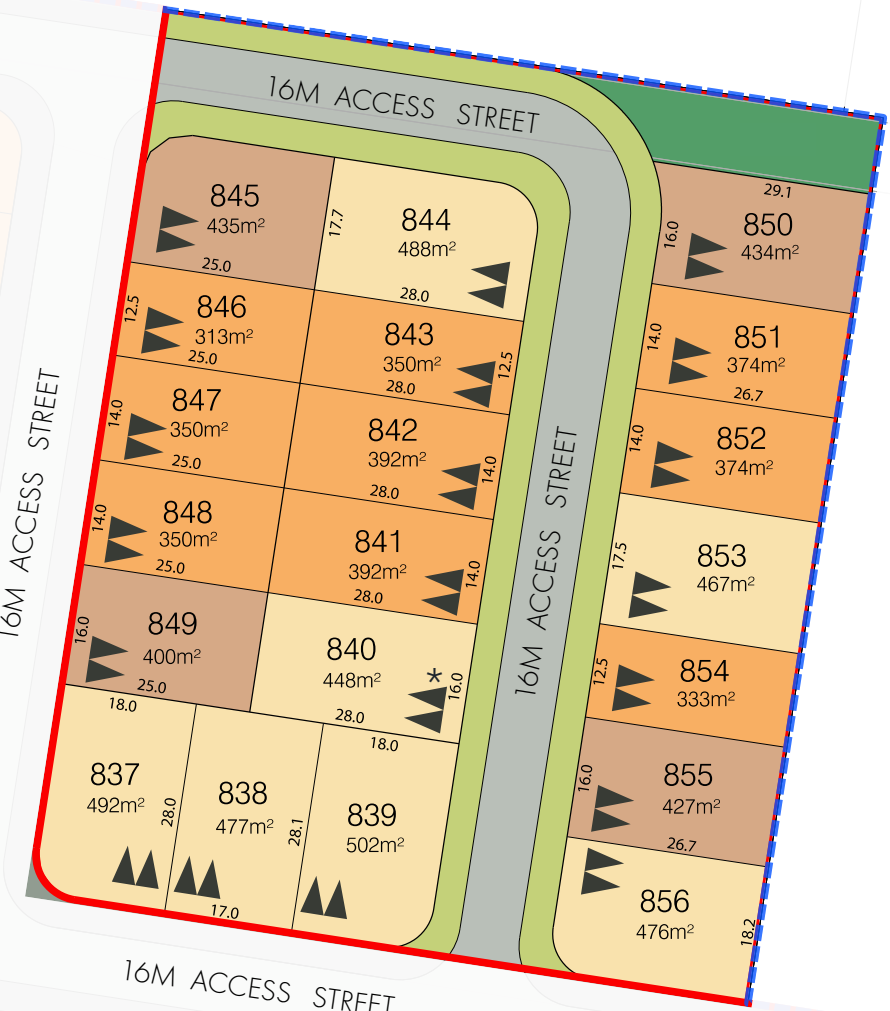
DEVELOPMENT YIELD

- AREA OF ALL 20 RESIDENTIAL LOTS    = 0.827 ha = 73.25%
- ROAD AREA - INCLUDING VERGE & PEDESTRIAN/DRAINAGE CONNECTION    = 0.302 ha = 26.75%
- TOTAL SITE AREA    = 1.129 ha = 100%**

**STAGE 6**

16M ACCESS STREET

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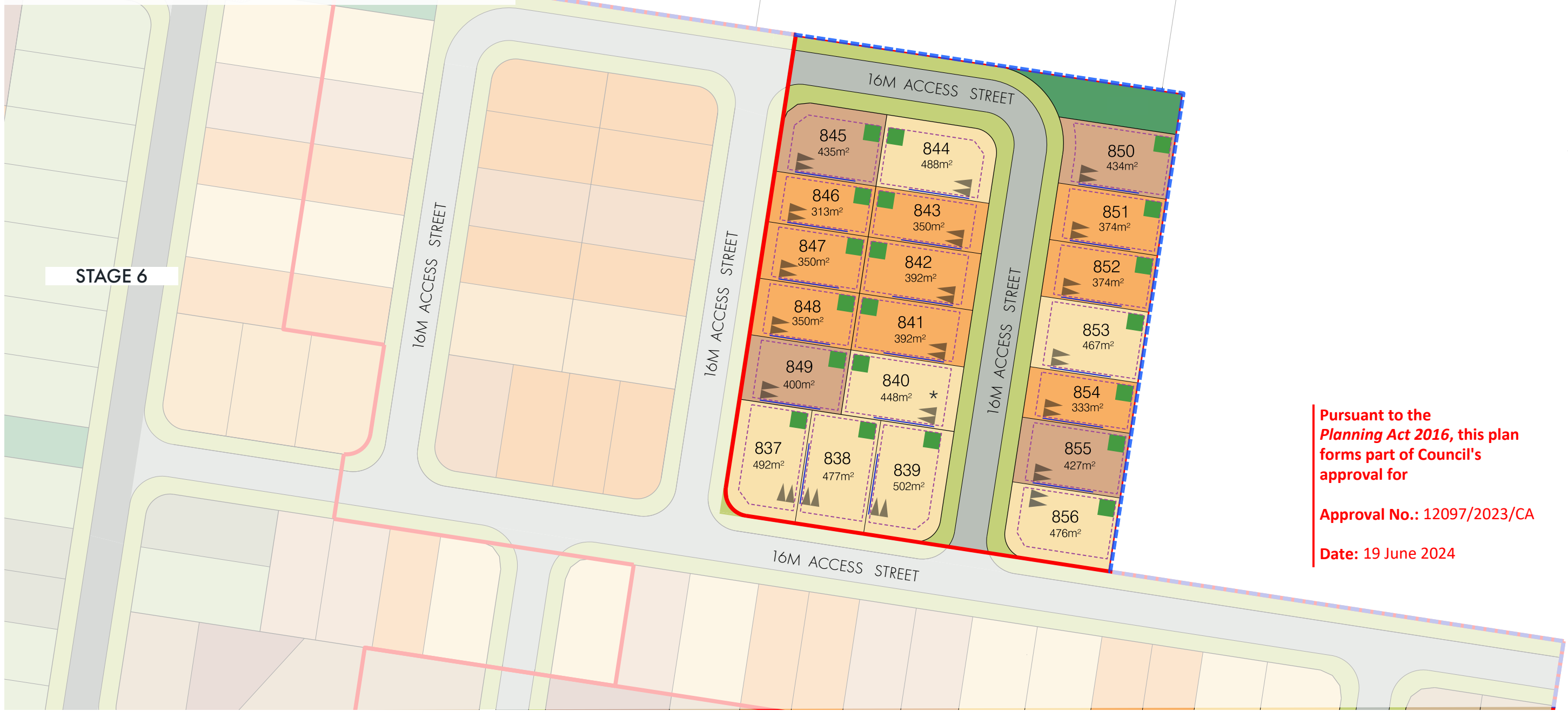
GENERAL

- — PROPERTY BOUNDARY
- — BOUNDARY
- - - BUILDING ENVELOPE
- — OPTIONAL BUILT TO BOUNDARY WALL
- PREFERRED DRIVEWAY/ GARAGE LOCATION (DOUBLE, SINGLE OR TANDEM)
- INDICATIVE PREFERRED LOCATION OF OPEN SPACE

- 450m<sup>2</sup> AND GREATER
- \* 445-449m<sup>2</sup> LOTS
- 400-444m<sup>2</sup> LOTS
- 300-399m<sup>2</sup> LOTS

ACCESS AND CIRCULATION

- ROAD VERGE
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16m ROAD RESERVE
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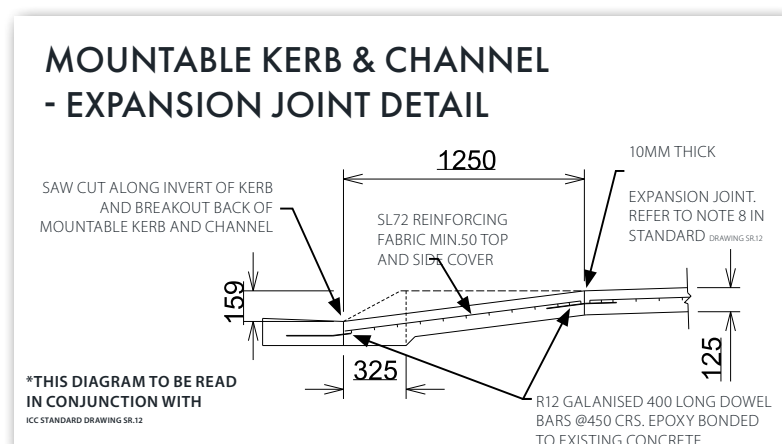
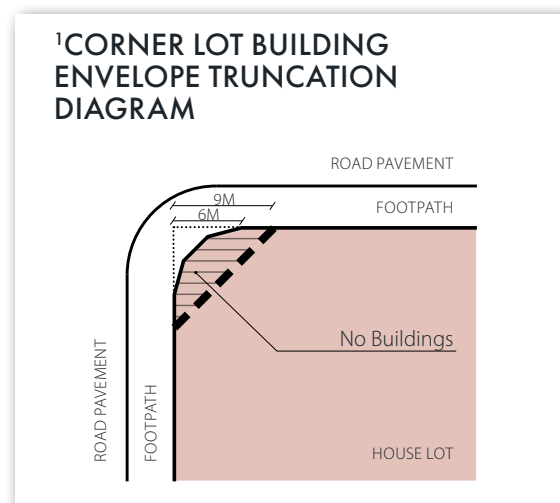
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**BUILDING ENVELOPE DETACHED DWELLINGS**

ALLOTMENTS SET			
Allotment type		Detached	
BUILDING ENVELOPE			
FRONT SETBACKS			
Front setback (Primary frontage)	To front building line/dwelling wall	3.5m	
	To outermost projection	3.0m	
	To garage door	4.9m	
REAR SETBACK TO <b>Outmost Projection (OMP)</b>			
Rear setback to wall	Ground floor	0.9m	
	First floor (if applicable) above 4.5m	1.5m	
SIDE SETBACKS			
Side setback to <b>OMP</b> Built to boundary walls (Optional)	Ground floor	0.0m	
Side setback to <b>OMP</b> Non built to boundary walls	Ground floor	Frontage ≤ 12.5m	Frontage > 12.5m
		<b>0.55m</b>	<b>0.9m</b>
	First floor (if applicable) above 4.5m	1.5m	
CORNER SETBACKS			
Corner lot setback to wall	Minimum side setback for Access Place and Access Street	1.0m	
	Minimum side setback for Collector Street	2.0m	
	Truncation <sup>1</sup>	6.0m x 6.0m	

ALLOTMENTS SET		
GARAGES, SITE COVER, POS, HEIGHT, WALL LENGTHS		
Preferred garage location	As indicated on the Plan of Development	
Garages	Single, tandem, or double. Garages, carports and other parking structures are sited such that they are located behind the front building setback and designed so as not to dominate the street frontage. Third garages may be constructed if set back a minimum of 500mm behind the main garage. Triple garages cannot span more than 50% of the width of the lot.	
Site Cover	Max. 60%	
Private open space (POS)	Minimum 16m <sup>2</sup> at ground level Min. dimension 2m for lot widths ≤10.5m Min. dimension 4m for low widths >10.5m	
Maximum length and height of built to boundary wall	15m long and max 3.5m high	
Fencing front	Primary	1200mm high, or 1800mm high with 50% transparency; Front facing fencing must be located 600mm behind the façade of the side the fence is on.
	Secondary	1200mm high; or 1800mm high if the fence has a solid appearance to 1200mm high and comprises a transparent element to 600mm (50% transparent solid to openings);
	Side & Rear	Max 1800mm;
	Adjoining parkland/ drainage reserve	1200mm high; or 1800mm high if the fence has a solid appearance to 1200mm high and comprises a transparent element to 600mm (50% transparent solid to openings); or 1500mm pool fence style construction.
Building design	For legibility, entries to buildings must be exposed to the main street frontage and be clearly delineated/legible. Building Design, detailing and finishes must provide an appropriate scale to the street and visual interest.	
Street frontage	Buildings must address primary and (if applicable) secondary street frontages. Where applicable, buildings must address parks/open space.	
Eaves	<b>Eaves (minimum width of 450mm) must be constructed on all dwellings (excluding built to boundary walls) and must not encroach within the minimum boundary setbacks.</b>	



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LEGEND

GENERAL

- PROPERTY BOUNDARY
- BOUNDARY

FOOTPATHS / PEDESTRIAN ACCESS

- PEDESTRIAN FOOTPATH 1.5m

ACCESS AND CIRCULATION

- ROAD VERGE
- ACCESS STREET 16m ROAD RESERVE
- PREFERRED DRIVEWAY LOCATION
- Access Street/Place



STAGE 6

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