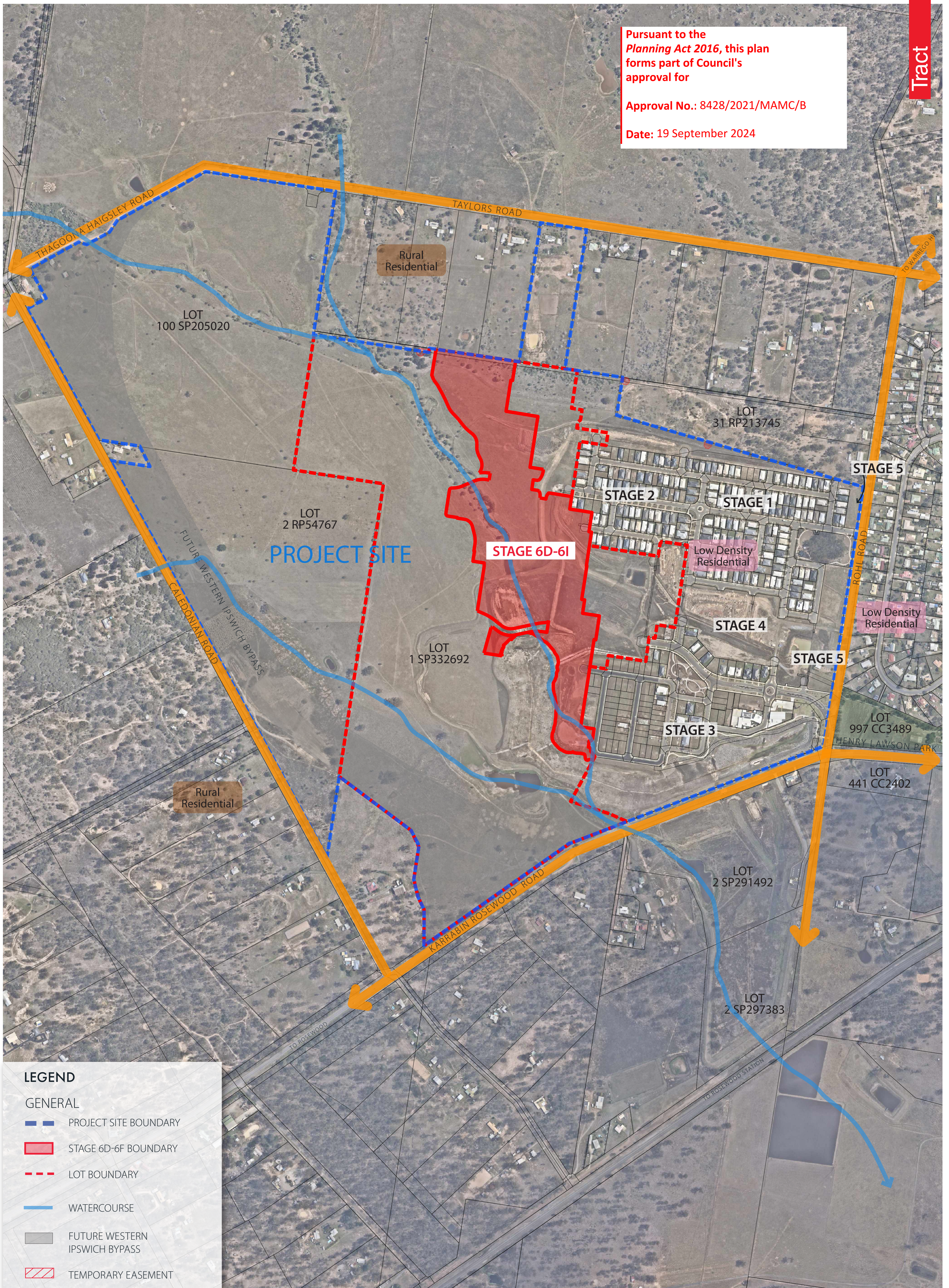


Pursuant to the Planning Act 2016, this plan forms part of Council's approval for
Approval No.: 8428/2021/MAMC/B
Date: 19 September 2024



LEGEND

GENERAL

- PROJECT SITE BOUNDARY
- STAGE 6D-6F BOUNDARY
- LOT BOUNDARY
- WATERCOURSE
- FUTURE WESTERN IPSWICH BYPASS
- TEMPORARY EASEMENT

Application only relates to Stages 6D, 6E, 6F, 6G, 6H and 6I.

The temporary easement only applies over land within proposed Lot 772 and not the road reserve.



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LEGEND

- GENERAL
- PROPERTY BOUNDARY
 - STAGE BOUNDARY
 - STAGE BOUNDARY

YIELD: STAGE 6D, 6E, 6F

	≥450m ² LOTS	38 TOTAL
*	445-449m ² LOTS	15 TOTAL
	400-444m ² LOTS	32 TOTAL
	300-399m ² LOTS	52 TOTAL

TOTAL RESIDENTIAL LOTS 137 TOTAL

ACCESS AND CIRCULATION

- ROAD VERGE
- ACCESS STREET
- COLLECTOR ROAD
- PEDESTRIAN LINK

OPEN SPACE

- LINEAR PARK
- DISTRICT PARK
- WATERWAY CORRIDOR

DEVELOPMENT YIELD: OVERALL STAGE 6

RESIDENTIAL LOTS	= 13.185ha = 53.9%
ROAD AREA - INCLUDING VERGE & PATHS + PEDESTRIAN LINK	= 6.740ha = 27.5%
OPEN SPACE - INCLUDING DISTRICT PARK & LINEAR PARK - EXCLUDING WATERWAY CORRIDOR	= 4.545ha = 18.6%

TOTAL SITE AREA = 24.470 HA = 100%

DENSITY (OVERALL STAGE 6)

STAGE 6 = 12.5 LOTS/HA*

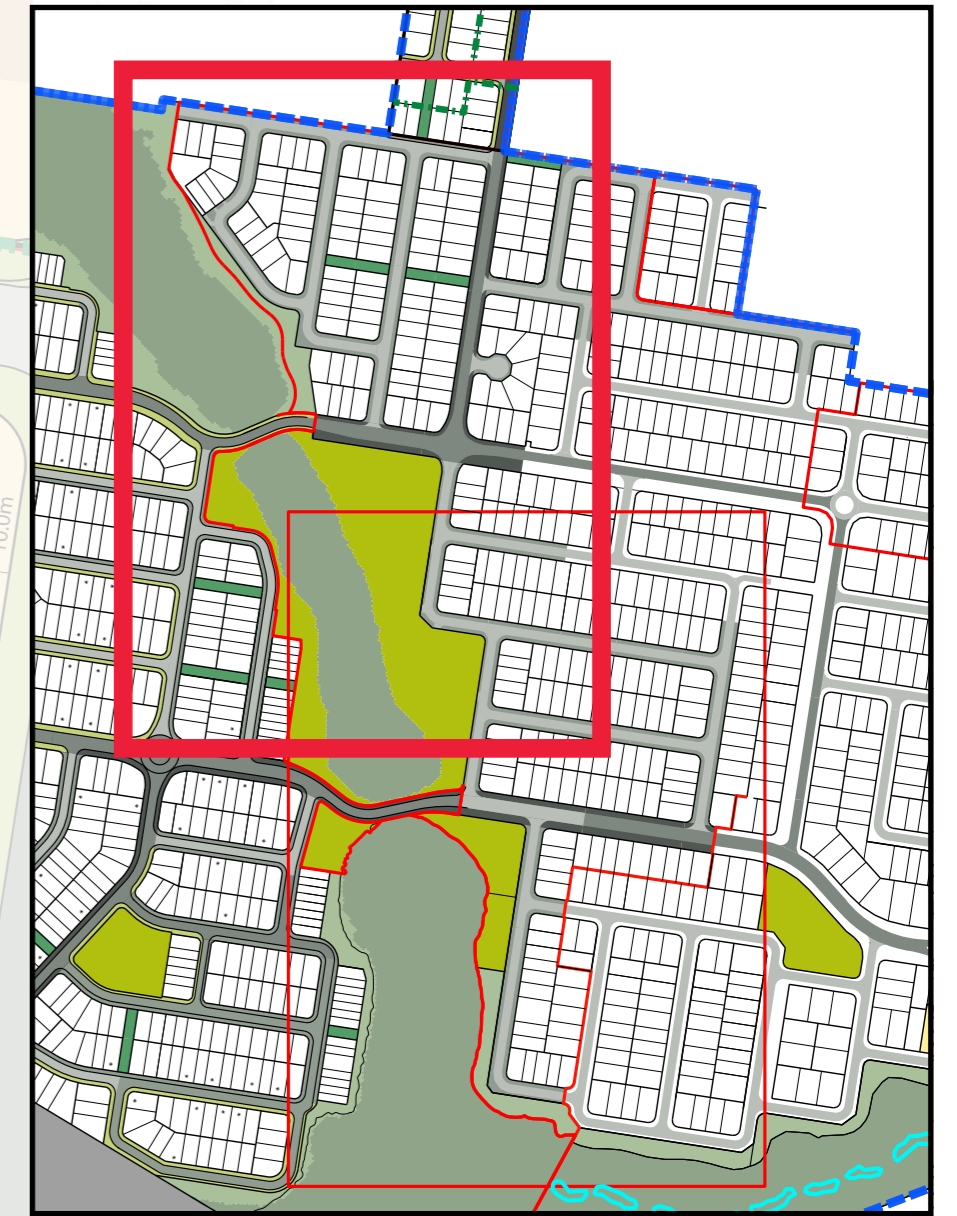
* Total 305 lots over 24.47 ha land including district park, local park and linear park

Drawing Title	Project Name	Drawing No.	Revision	Date	Drawn	Checked	Project Principal	Scale
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SUBJECT TO SEPARATE APPLICATION

KEY PLAN



SUBJECT TO SEPARATE APPLICATION

LEGEND

GENERAL

- PROPERTY BOUNDARY
- STAGE BOUNDARY
- SUB STAGE BOUNDARY

- ≥450m² LOTS
- 445-449m² LOTS
- 400-444m² LOTS
- 300-399m² LOTS

ACCESS AND CIRCULATION

- ROAD VERGE
- ACCESS STREET
- COLLECTOR ROAD
- PEDESTRIAN LINK
- TEMPORARY EASEMENT

OPEN SPACE

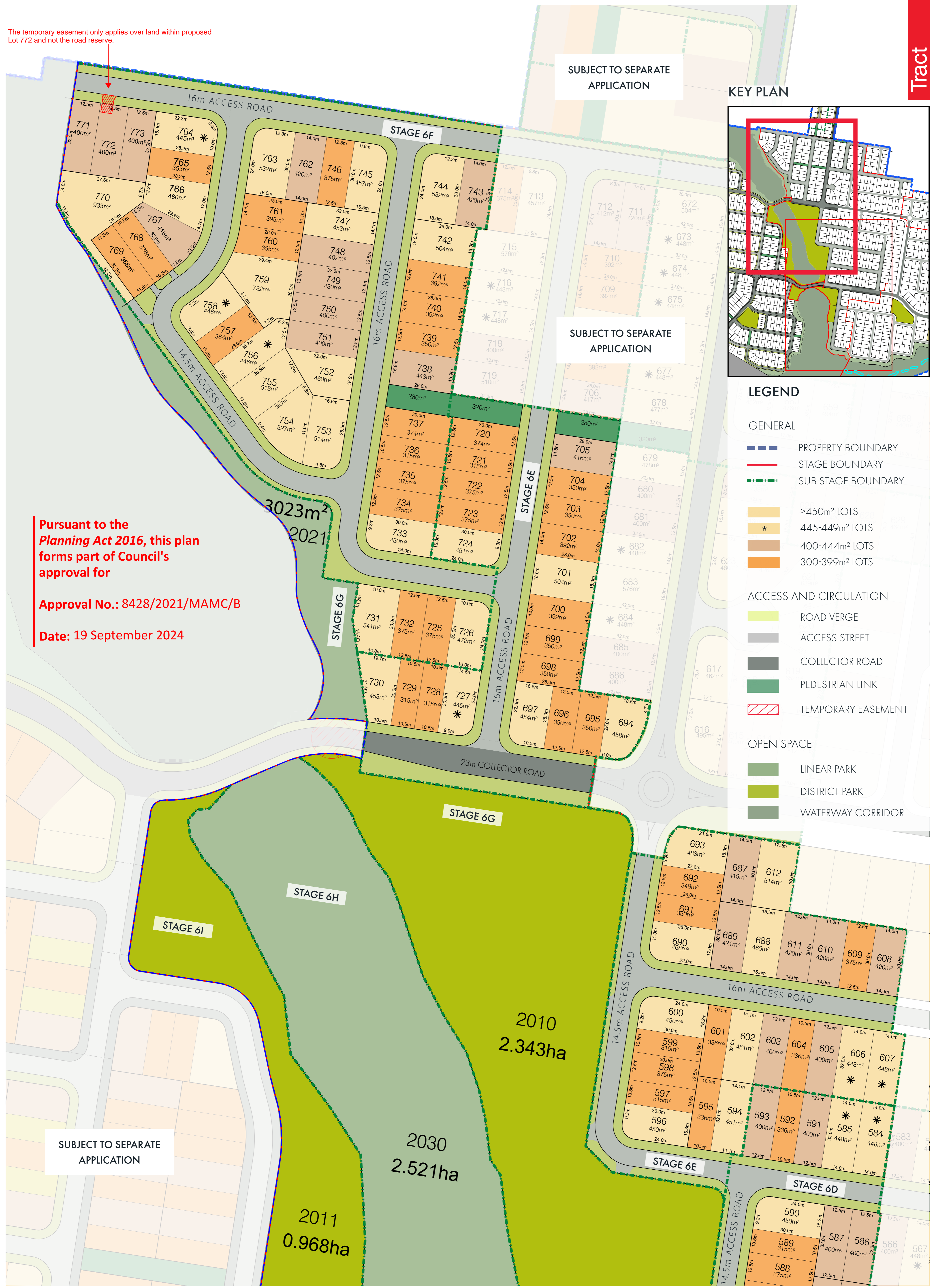
- LINEAR PARK
- DISTRICT PARK
- WATERWAY CORRIDOR

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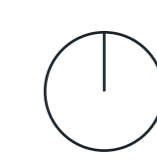
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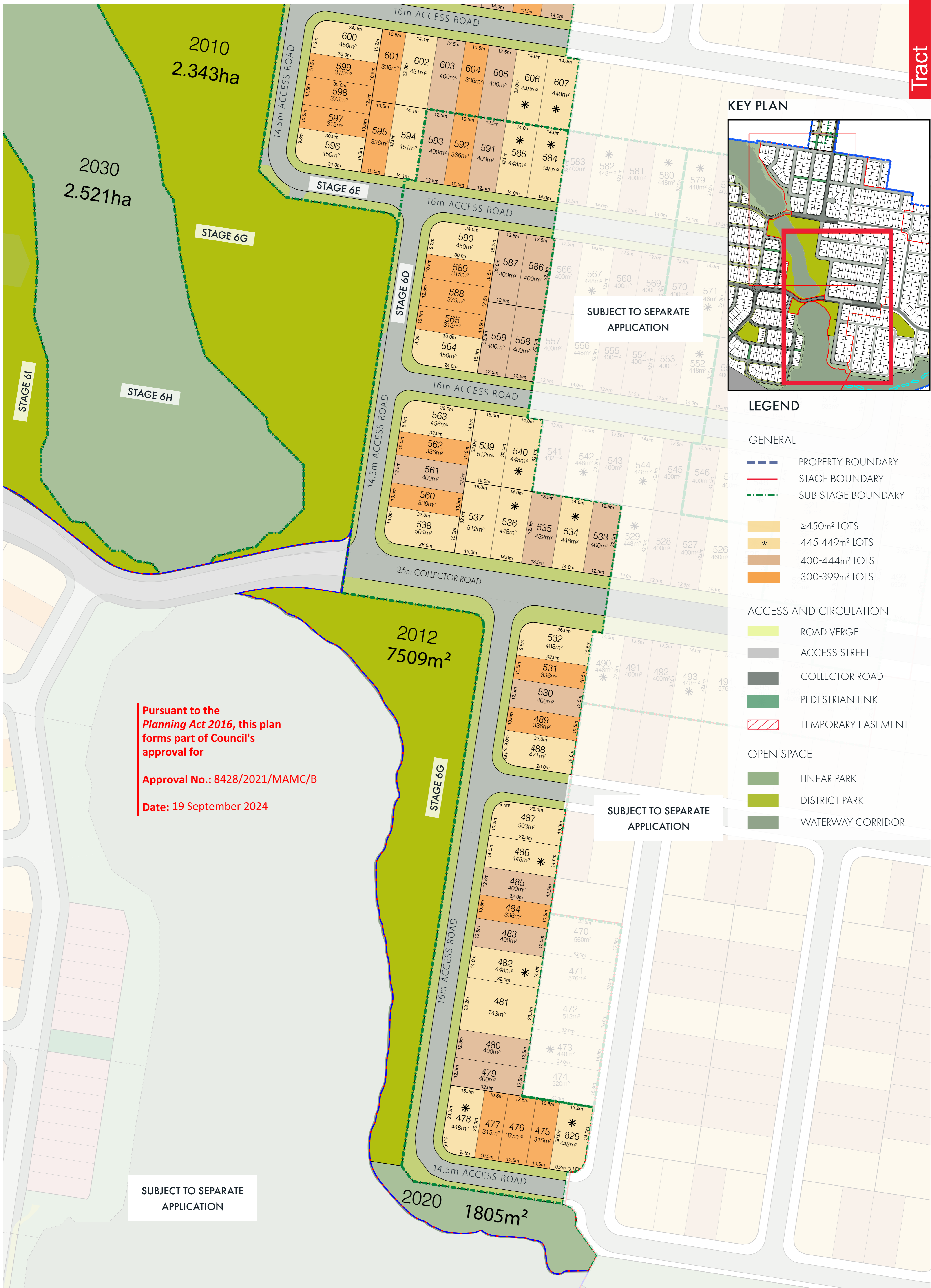
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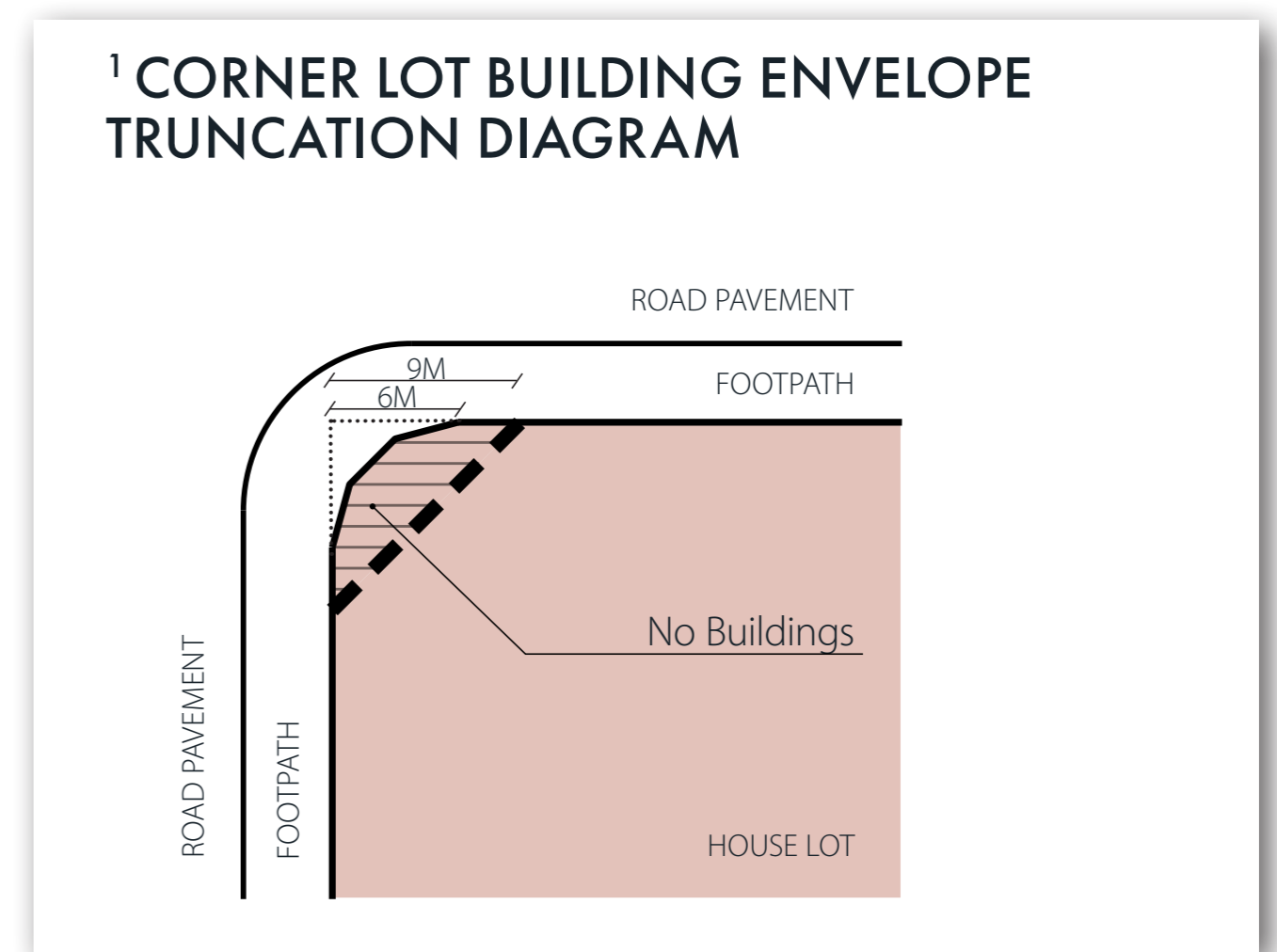




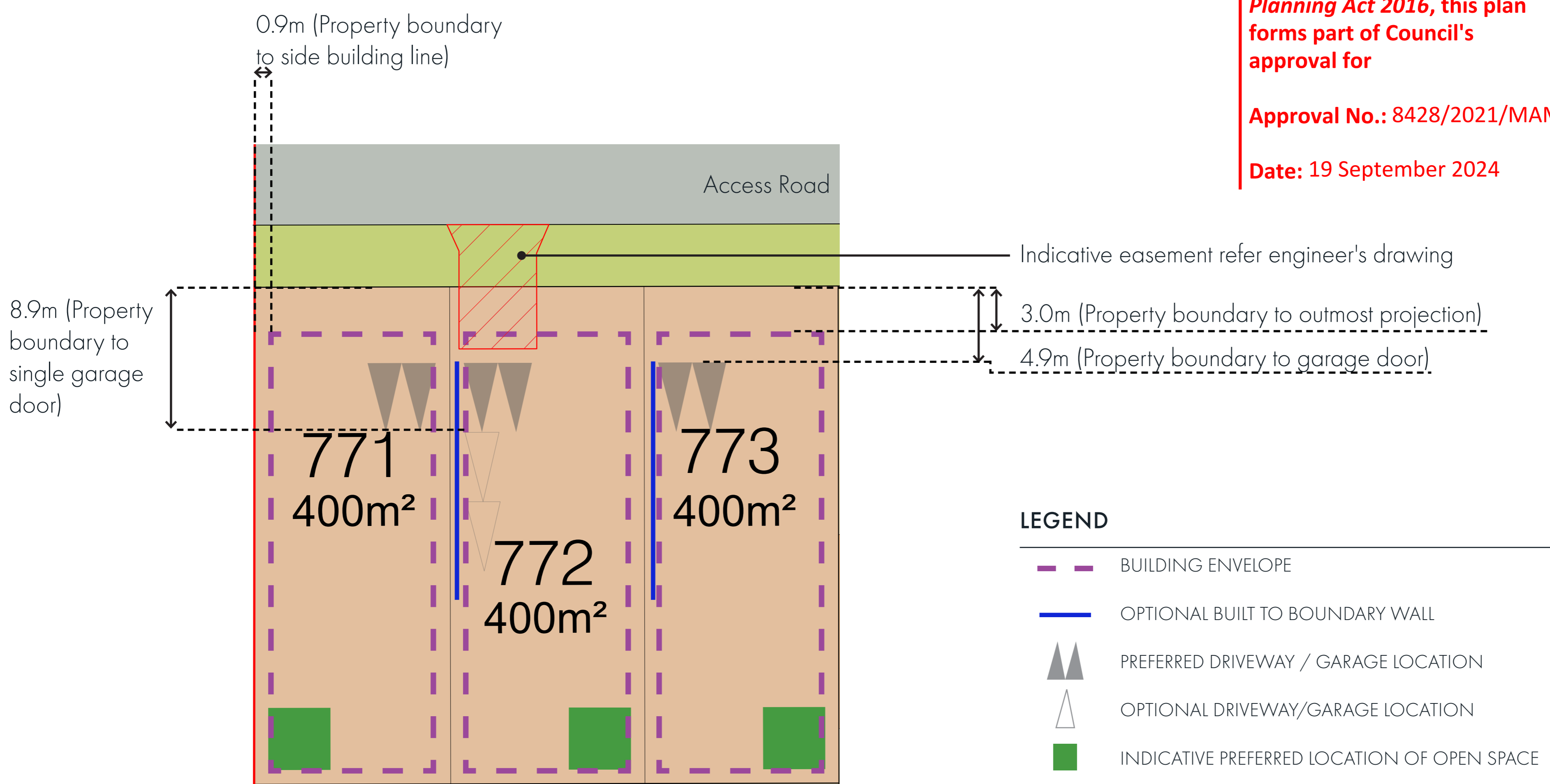
BUILDING ENVELOPE REQUIREMENTS - DETACHED DWELLINGS

ALLOTMENTS SET		
Allotment type		Detached
BUILDING ENVELOPE		
FRONT SETBACKS		
Front setback (Primary frontage)	To outermost projection	3.0m
	To garage door	4.9m
	To front building line / dwelling wall	3.5m
Front setback (Secondary frontage)	To front building line / dwelling wall	3.0m
	To ground level verandas / patios	2.0m
REAR SETBACK TO WALL		
	Ground floor	0.9m
	First floor (if applicable) above 4.5m	1.5m
SIDE SETBACKS		
Front setback to outermost projection (Non-built to boundary wall)	Ground floor	0.9m
	First floor (if applicable) above 4.5m	1.5m
Front setback built to boundary wall (Optional)	Ground floor	0.0m
GARAGES, SITE COVER, POS, HEIGHT, WALL LENGTHS		
Corner lots	6.0m x 6.0m truncation ¹	
Preferred garage location	As indicated on the Plan of Development	
Garages	Single, tandem, or double. Garages, carports and other parking structures are sited such that they are located behind the front building setback and designed so as not to dominate the street frontage. Third garages may be constructed if set back a minimum of 500mm behind the main garage. Triple garages cannot span more than 50% of the width of the lot.	
Site cover	Max. 60%	
Private open space (POS)	Minimum 16m ² at ground level (min. dimension 2m for lot widths ≤10.5m)	
Maximum length and height of built to boundary wall	15m long and max 3.5m high	
Fencing front	Primary	1200mm high, or 1800mm high with 50% transparency; Front facing fencing must be located 600mm behind the façade of the side the fence is on.
	Secondary	1200mm high; or 1800mm high if the fence has a solid appearance to 1200mm high and comprises a transparent element to 600mm (50% transparent solid to openings);
	Side & Rear	Max 1800mm;
	Adjoining parkland/drainage reserve	1200mm high; or 1800mm high if the fence has a solid appearance to 1200mm high and comprises a transparent element to 600mm (50% transparent solid to openings); or 1500mm pool fence style construction
Building design	For legibility, entries to buildings must be exposed to the main street frontage and be clearly delineated/legible. Building Design, detailing and finishes must provide an appropriate scale to the street and visual interest.	
Street frontage	Buildings must address primary and (if applicable) secondary street frontages. Where applicable, buildings must address parks/open space	
Lot 772 Special requirement	The setback for a double garage must be 4.9m from the boundary of the primary frontage. If a single garage is constructed, the setback must be 4.9m from the boundary of the easement (i.e. 8.9m from the primary frontage). Parking is not permitted within the easement area of Lot 772 shown as per the building setbacks image below. No building component may be built within or overhang the easement on the property.	

DESIGN DETAILS



BUILDING SETBACKS



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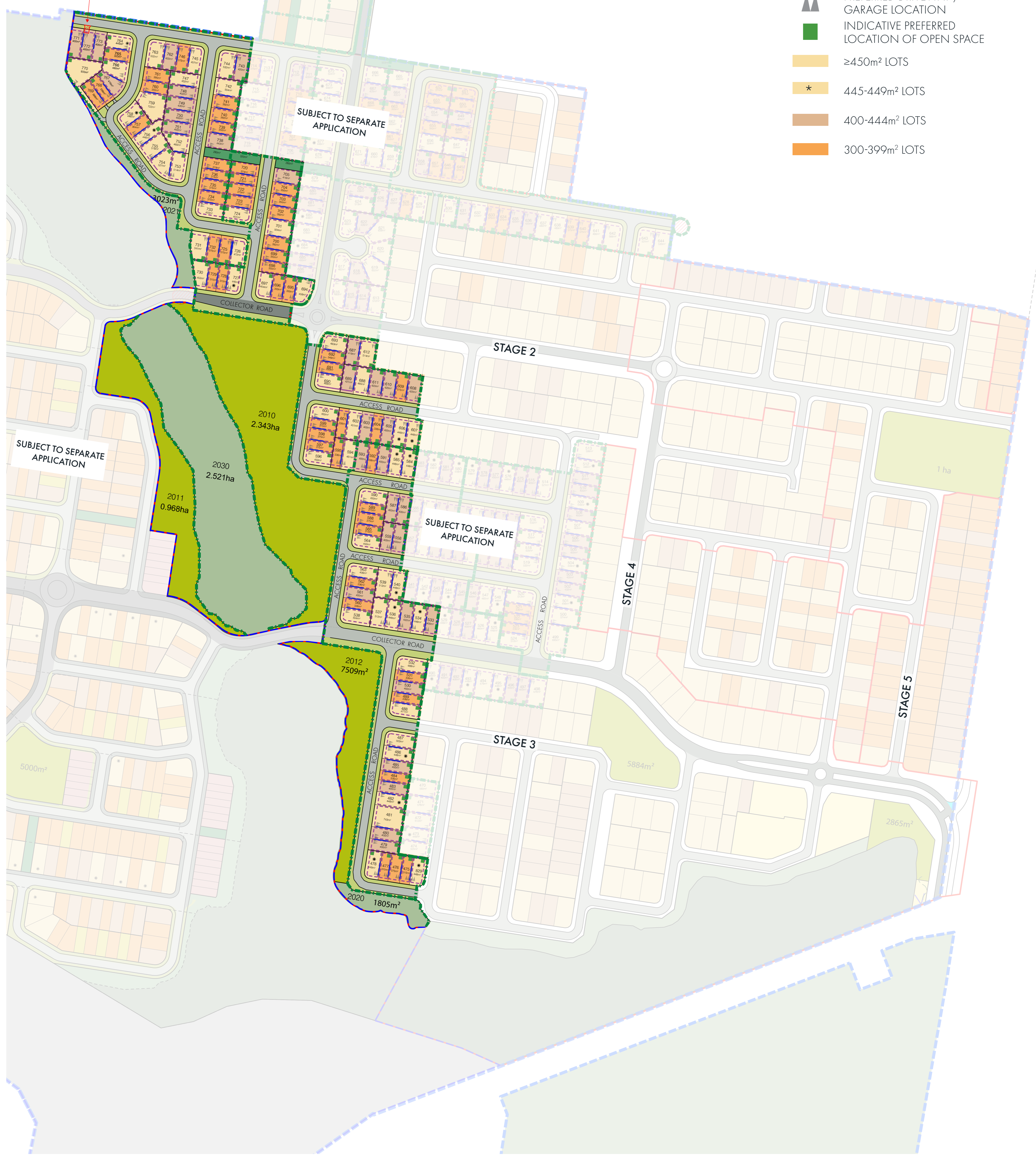
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LEGEND

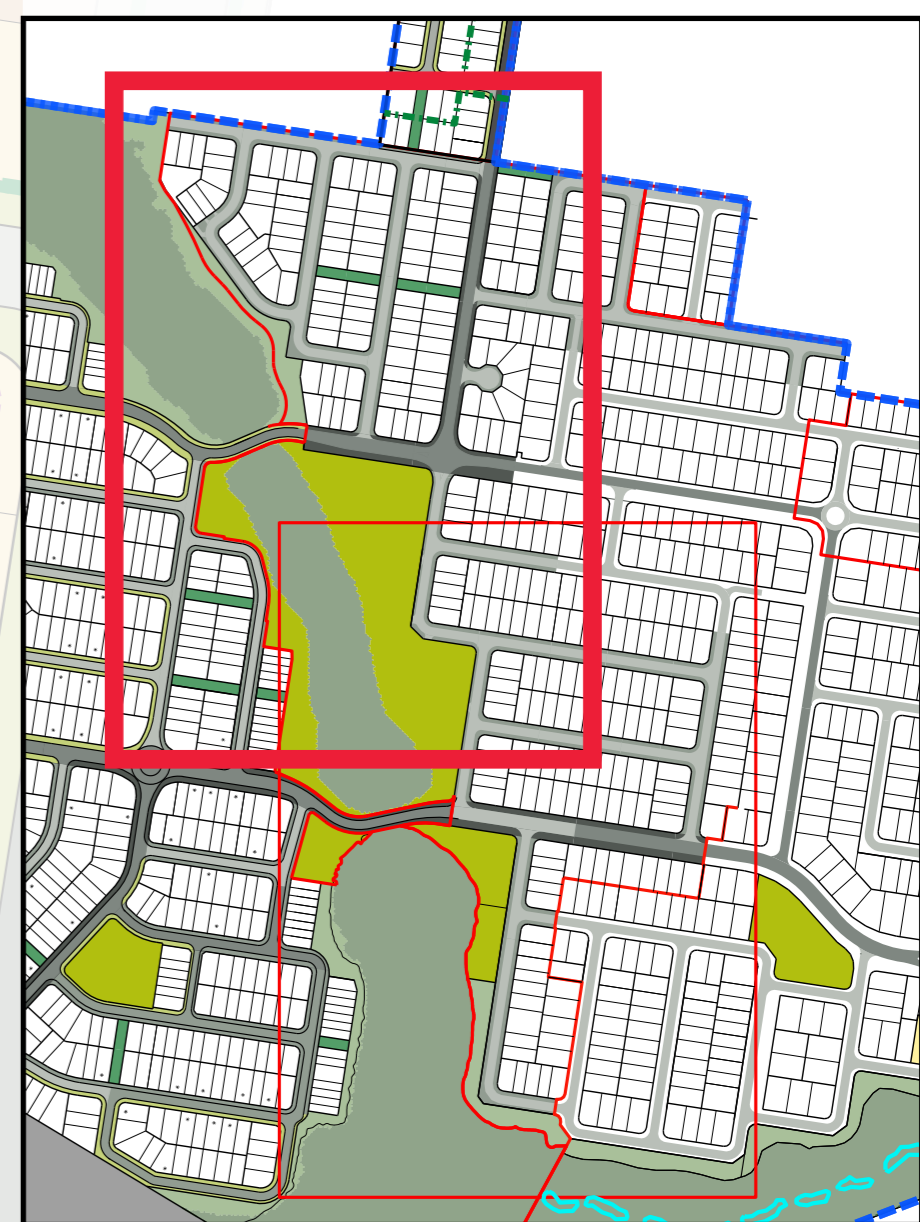
- PROPERTY BOUNDARY
- STAGE BOUNDARY
- SUB STAGE BOUNDARY
- BUILDING ENVELOPE
- OPTIONAL BUILT TO BOUNDARY WALL
- PREFERRED DRIVEWAY / GARAGE LOCATION
- INDICATIVE PREFERRED LOCATION OF OPEN SPACE
- ≥450m² LOTS
- 445-449m² LOTS
- 400-444m² LOTS
- 300-399m² LOTS



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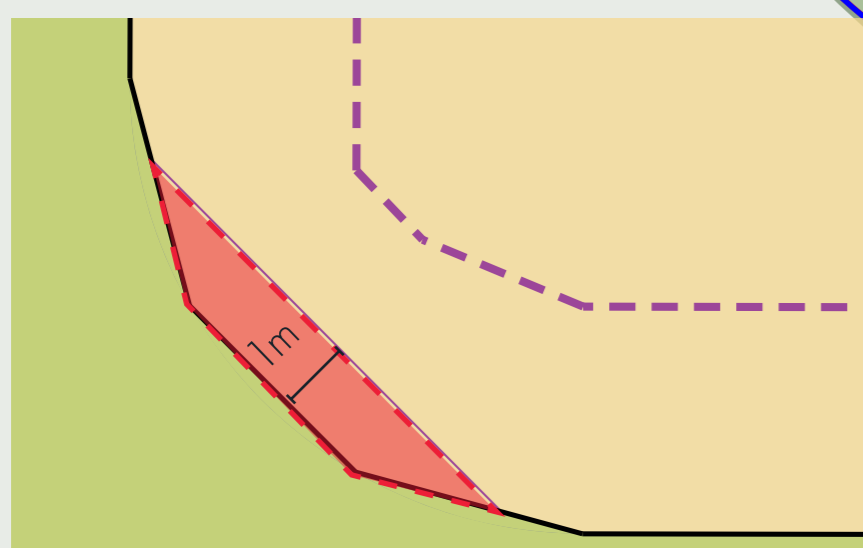
SUBJECT TO SEPARATE APPLICATION

KEY PLAN



LEGEND

- PROPERTY BOUNDARY
- STAGE BOUNDARY
- SUB STAGE BOUNDARY
- BUILDING ENVELOPE
- OPTIONAL BUILT TO BOUNDARY WALL
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- INDICATIVE PREFERRED LOCATION OF OPEN SPACE
- ≥450m² LOTS
- 445-449m² LOTS
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NO PERMANENT STRUCTURE ALLOWED WITHIN THE ZONE

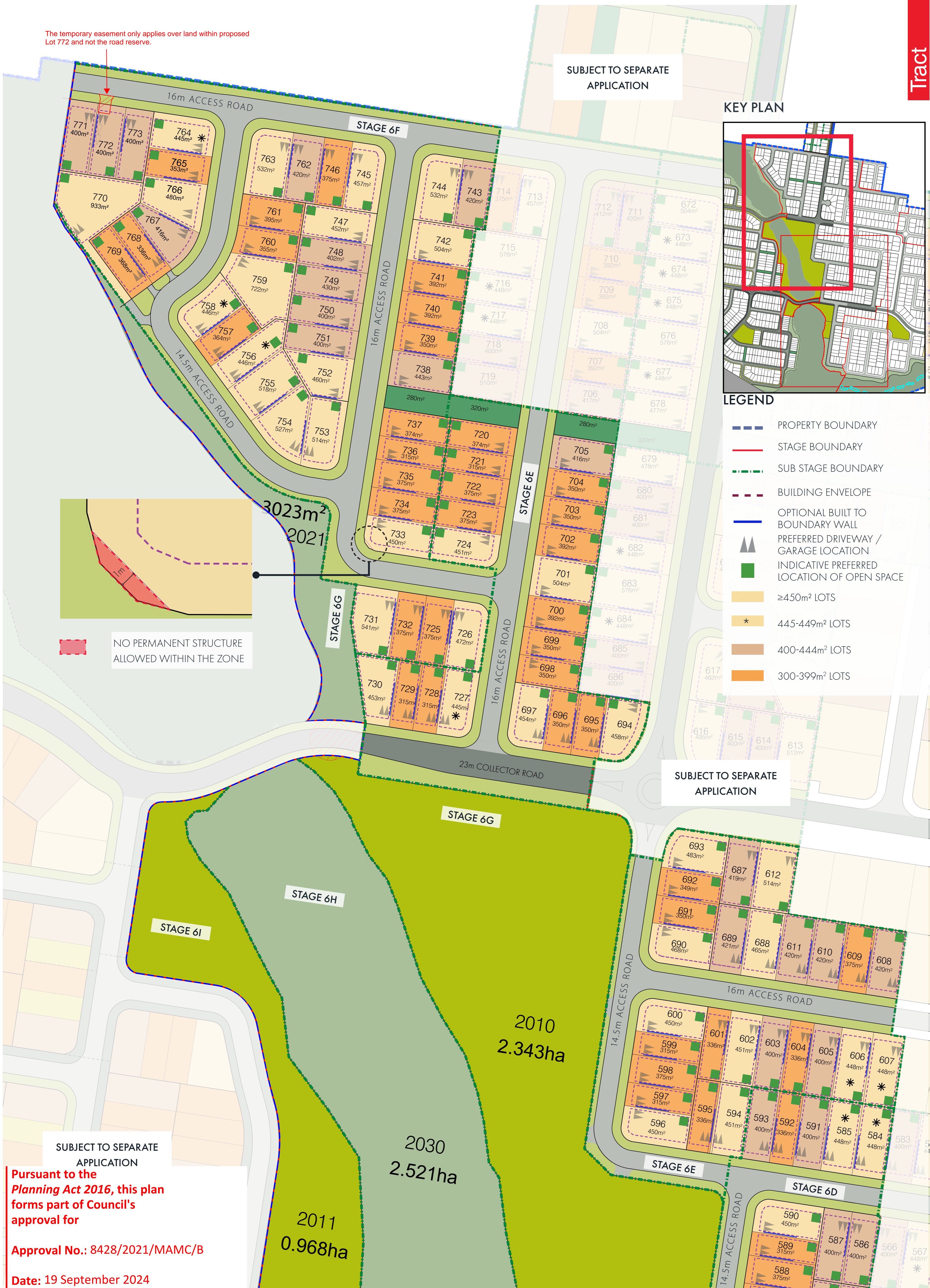
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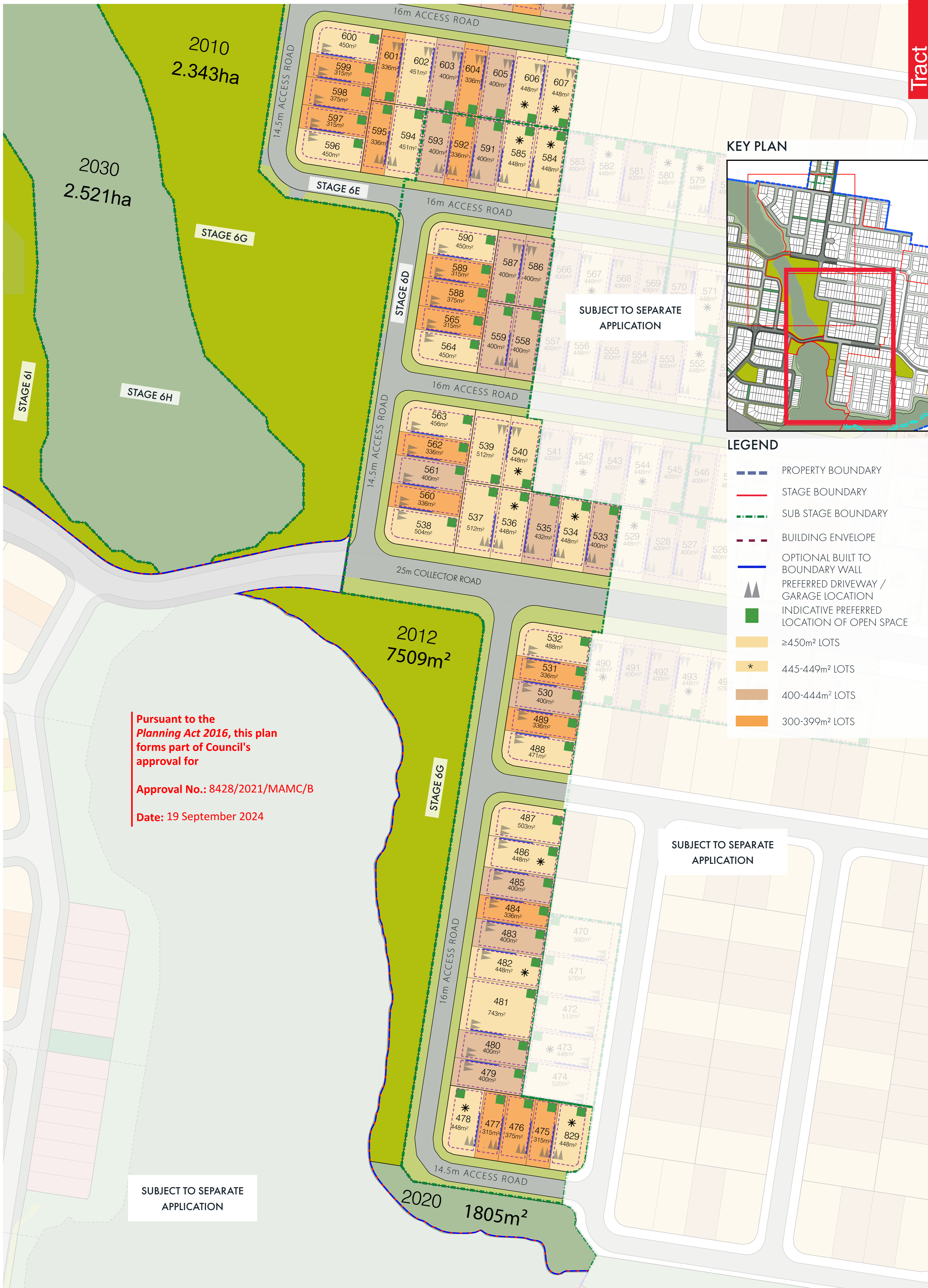
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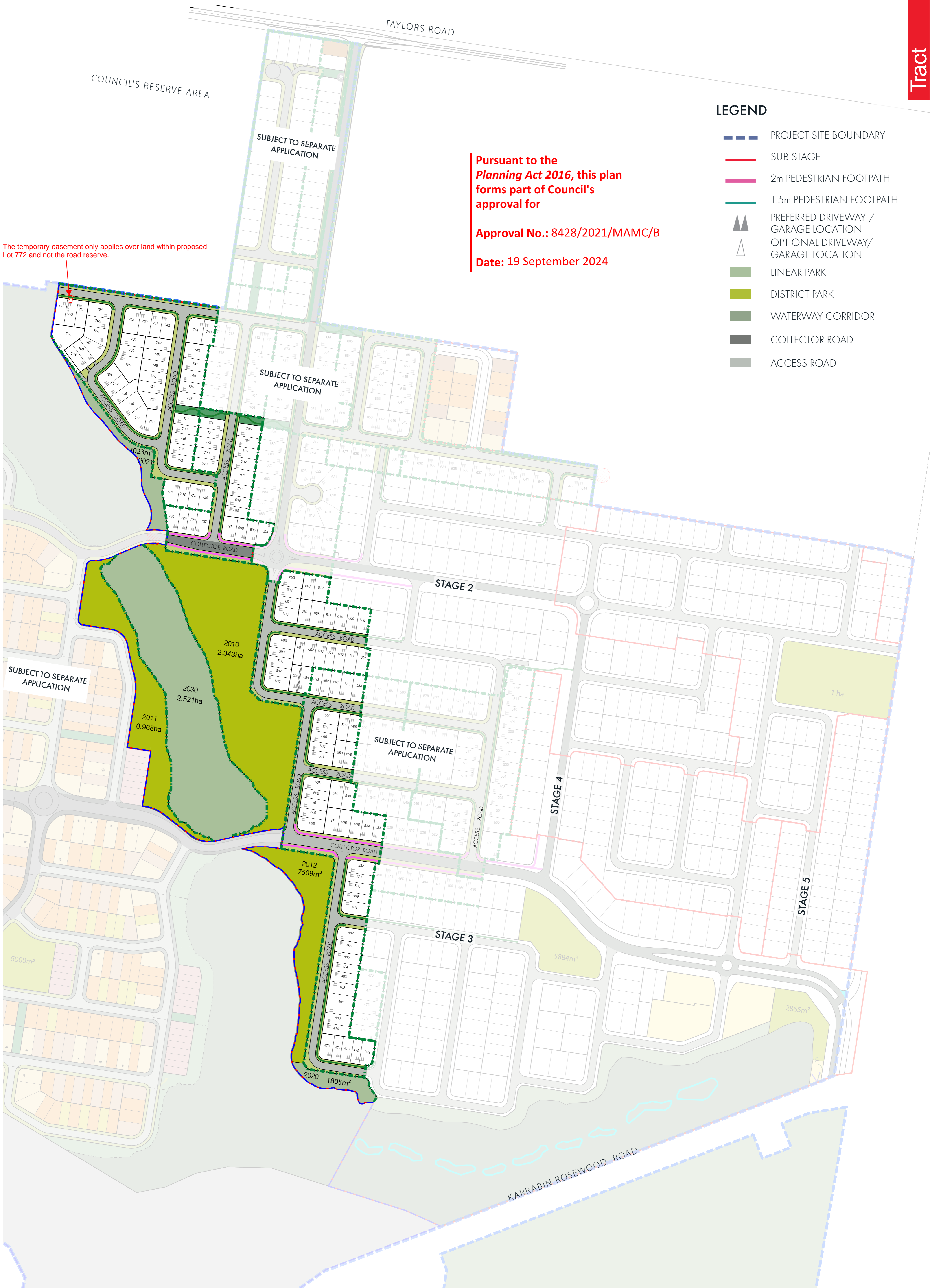
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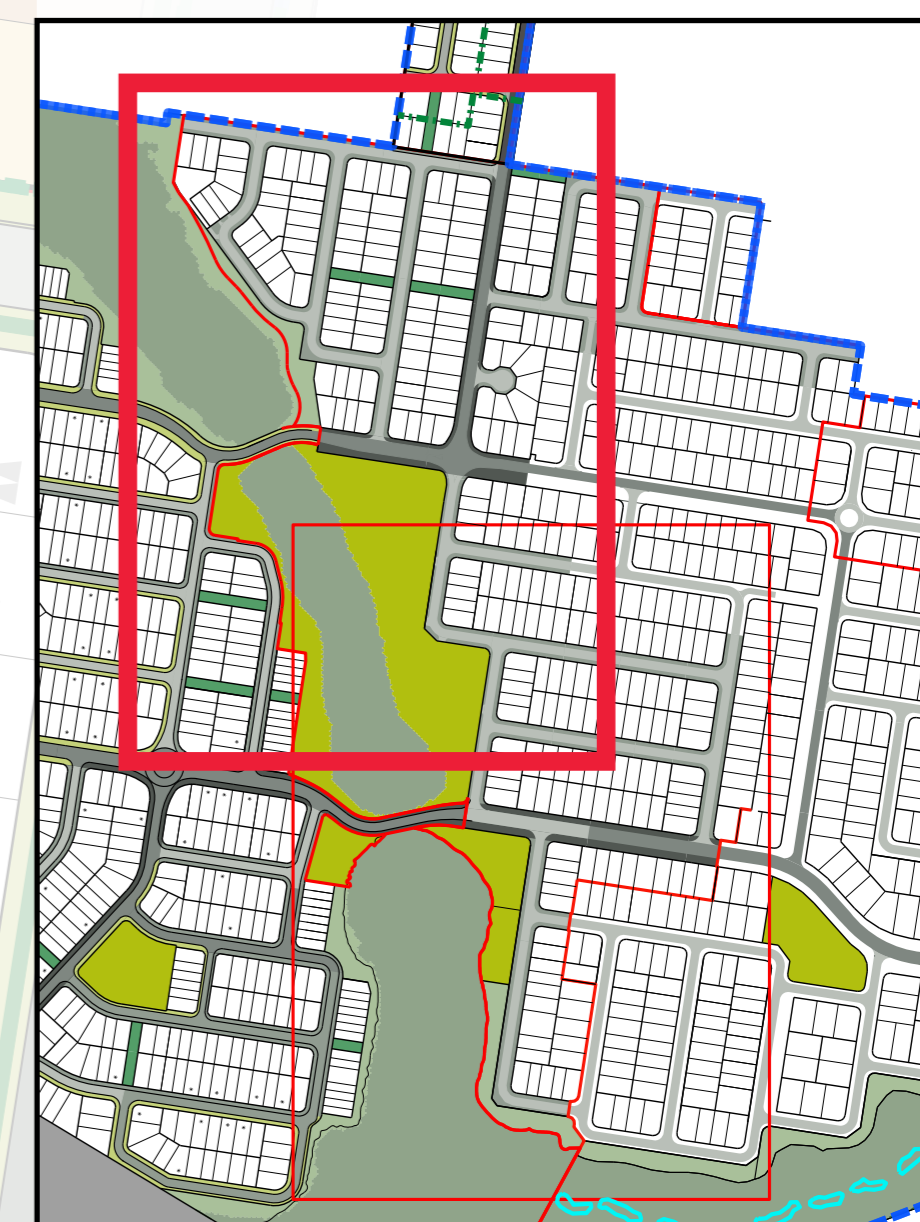
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- LEGEND**
- PROJECT SITE BOUNDARY
 - SUB STAGE
 - 2m PEDESTRIAN FOOTPATH
 - 1.5m PEDESTRIAN FOOTPATH
 - ▲ PREFERRED DRIVEWAY / GARAGE LOCATION
 - △ OPTIONAL DRIVEWAY / GARAGE LOCATION
 - LINEAR PARK
 - DISTRICT PARK
 - WATERWAY CORRIDOR
 - COLLECTOR ROAD
 - ACCESS ROAD

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KEY PLAN



LEGEND

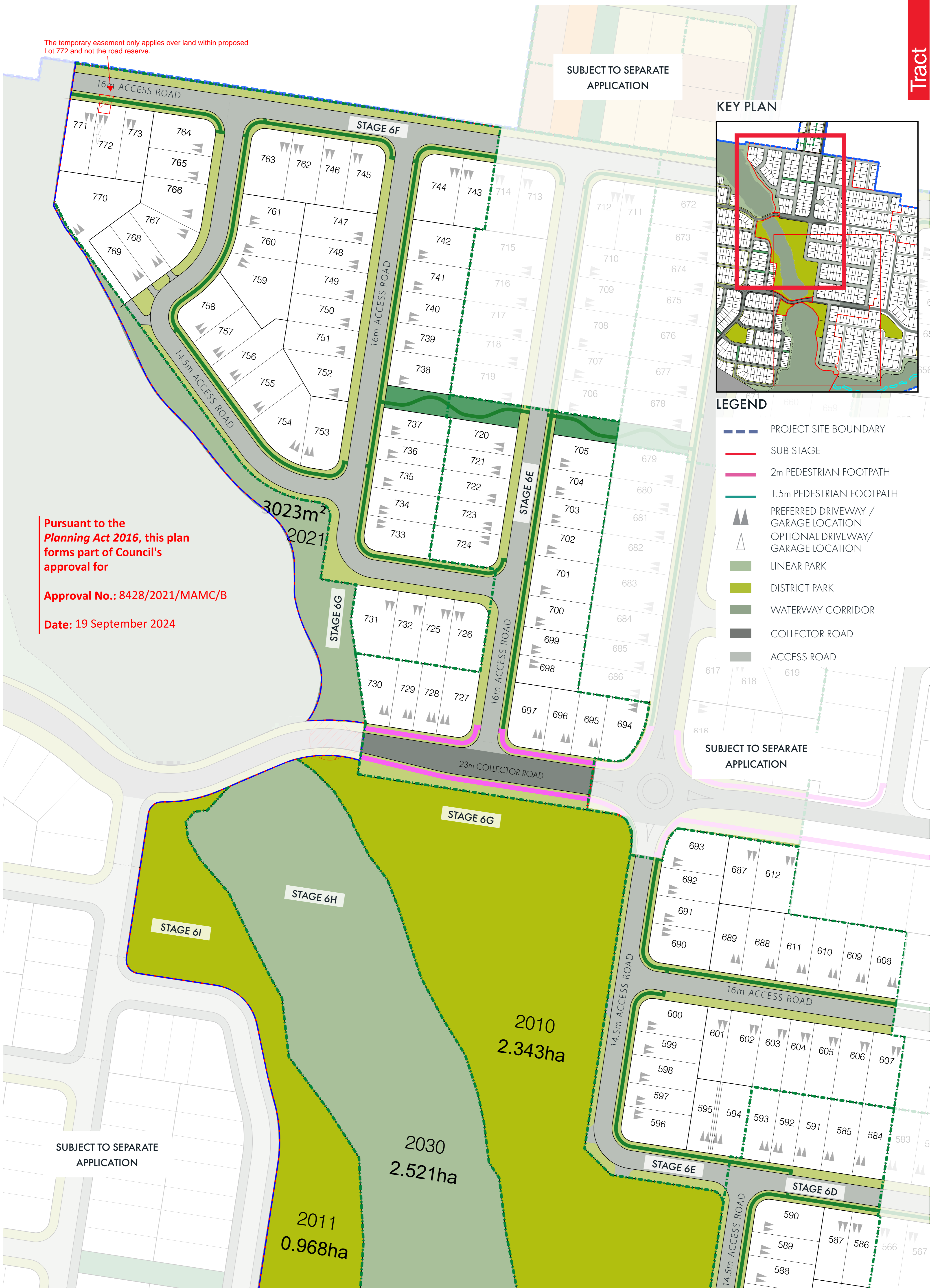
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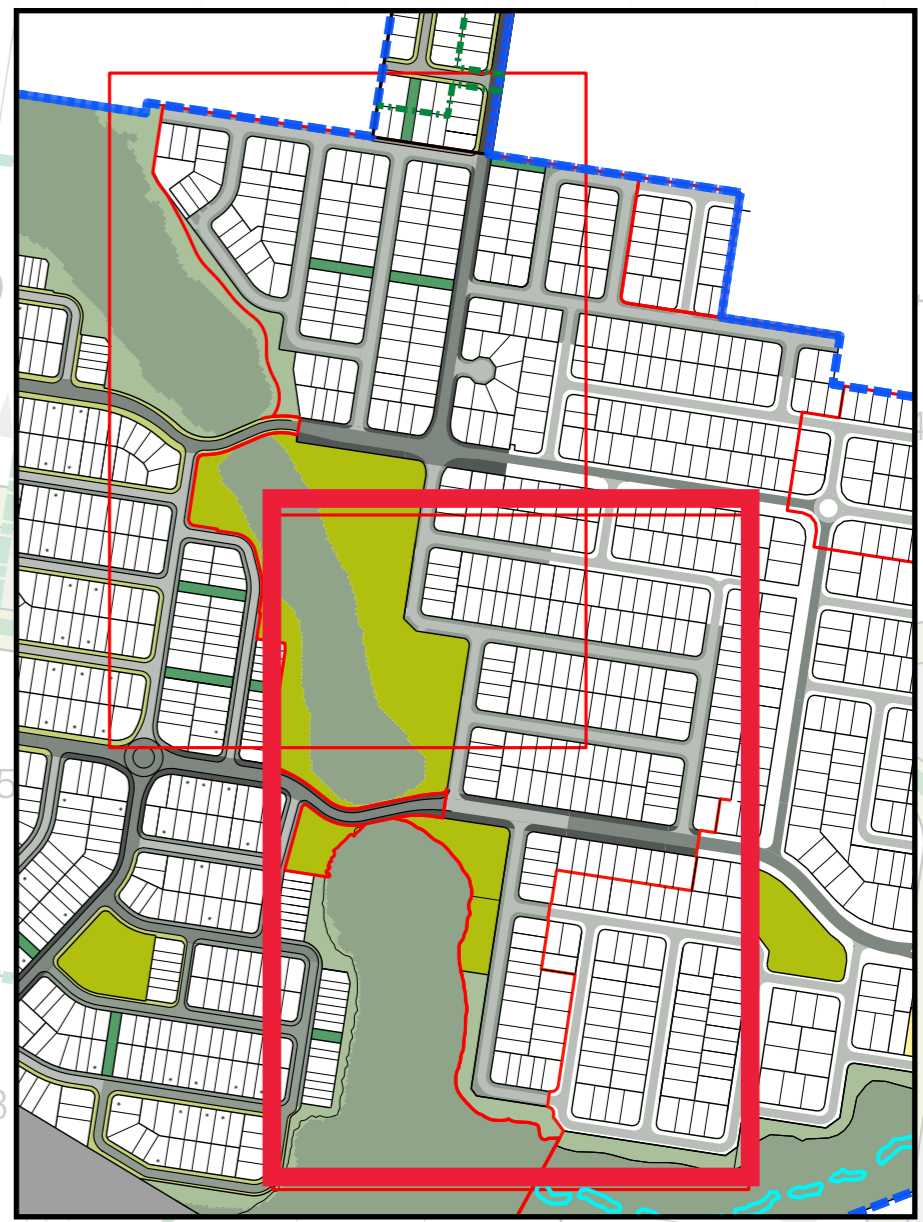


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Drawing Title	Project Name	Drawing No.	Revision	Date	Drawn	Checked	Project Principal	Scale
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KEY PLAN



LEGEND

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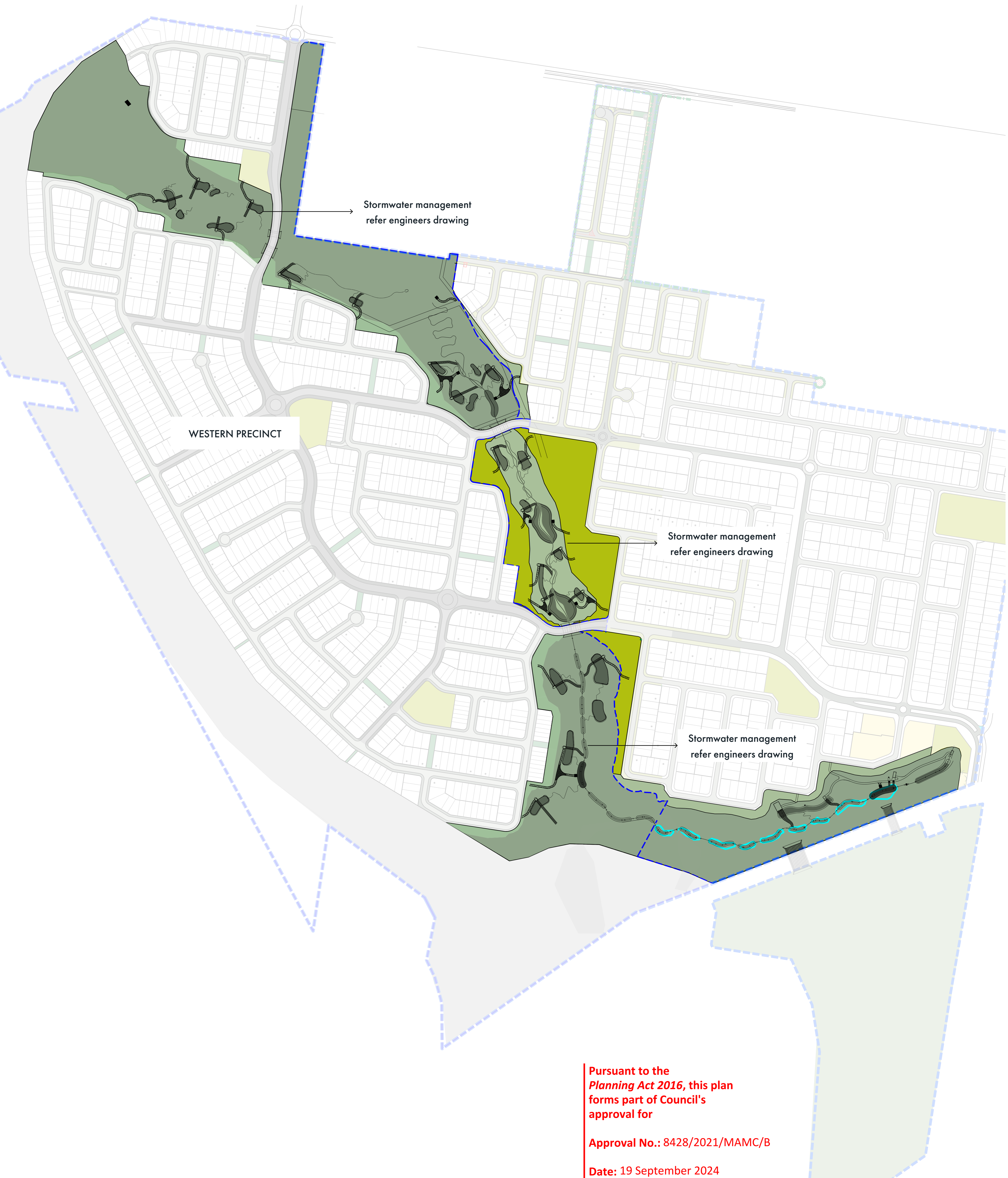
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PARKLAND + WATERWAY CORRIDOR PLAN	DAWN WALLOON STAGE 6	0714-0279-00-U-41-DR002	13	16.08.2024	AC	MK	MH	1:3000 (A1) 0 60 120 240



Legend:

- 2.0m Footpath
- 1.5m Footpath
- Inter-Suburban Link (Arterial)
- Suburban Link (Sub Arterial)
- Major Collector
- Collector
- Access Street/Place
- Laneway
- - - Pedestrian/Cycle Connection (Off Road)
- Roundabout
- ⊙ Traffic Signals
- ▲ Left In / Left Out

LEGEND

GENERAL

- - - PROPERTY BOUNDARY
- STAGE BOUNDARY
- - - STAGE BOUNDARY

YIELD: STAGE 6D, 6E, 6F

■ ≥450m ² LOTS	38 TOTAL
★ 445-449m ² LOTS	15 TOTAL
■ 400-444m ² LOTS	32 TOTAL
■ 300-399m ² LOTS	52 TOTAL

TOTAL RESIDENTIAL LOTS 137 TOTAL

ACCESS AND CIRCULATION

- ROAD VERGE
- ACCESS STREET
- COLLECTOR ROAD
- PEDESTRIAN LINK

OPEN SPACE

- LINEAR PARK
- DISTRICT PARK
- WATERWAY CORRIDOR

DEVELOPMENT YIELD: OVERALL STAGE 6

RESIDENTIAL LOTS	= 13.185ha = 53.9%
ROAD AREA - INCLUDING VERGE & PATHS + PEDESTRIAN LINK	= 6.740ha = 27.5%
OPEN SPACE - INCLUDING DISTRICT PARK & LINEAR PARK - EXCLUDING WATERWAY CORRIDOR	= 4.545ha = 18.6%

TOTAL SITE AREA = 24.470 HA = 100%

DENSITY (OVERALL STAGE 6)

STAGE 6 = 12.5 LOTS/HA*

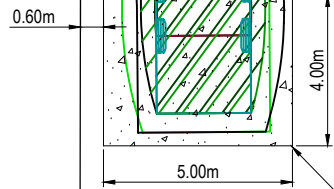
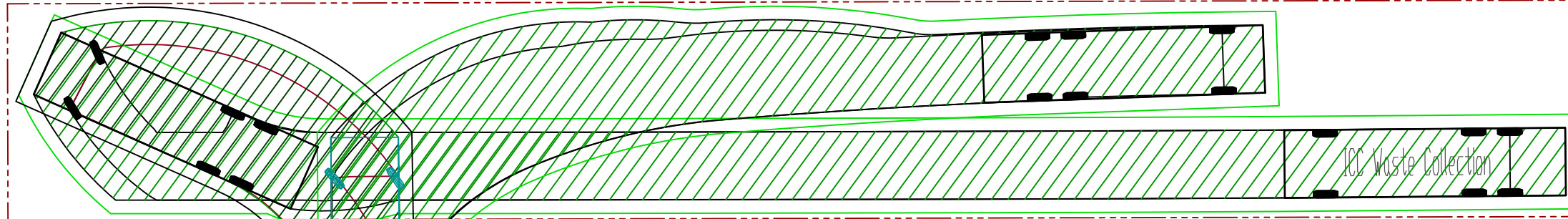
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REFUSE VEHICLE TO PICK UP BINS FROM LOTS 771 - 773 IN FORWARD MOTION, REVERSE INTO DRIVEWAY OF LOT 772 AND DRIVE OUT. NO BIN PADS REQUIRED TO FACILITATE WASTE PICK UP.



DRIVEWAY PAVEMENT DESIGN TO BE IN ACCORDANCE WITH ICC COMMERCIAL STD DRG SR13. DRIVEWAY FINISH TO BE EXPOSED AGGREGATE.

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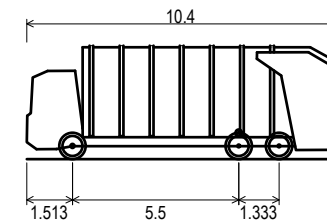
764

Date: 19 September 2024

771

772





773



ICC Waste Collection	
Overall Length	10.400m
Overall Width	2.500m
Overall Body Height	3.751m
Min Body Ground Clearance	0.304m
Track Width	2.500m
Lock-to-lock time	4.00s
Curb to Curb Turning Radius	11.000m

ICC WASTE COLLECTION VEHICLE

LEGEND

-  PROPOSED BOUNDARY
-  PROPOSED MOUNTABLE KERB & CHANNEL TYPE 'M1'
-  1.5m FOOTPATH
-  INDICATIVE DRIVEWAY LOCATIONS REFER TRACT MASTERPLAN FOR FURTHER DETAILS

Sketch Plan



Title: STAGE 6F REFUSE VEHICLE TURN-AROUND			
ID WALOON DEVELOPMENTS	Scale: 1:100 (A1)	Drawn By: NM	Date: 18/01/2023
Brisbane Office	Project #: 21-000113	Sketch #: SK460	Revision: 1

