

Pursuant to the **Planning Act 2016**, this plan forms part of Council's approval for

Approval No.: 19984/2021/CA

Date: 11 April 2023

LEGEND

GENERAL

- PROJECT SITE BOUNDARY
- BOUNDARY
- AREA = 3.182 ha
- EXISTING STAGE BOUNDARIES
- WATERCOURSE
- FUTURE WESTERN IPSWICH BYPASS

Drawing Title	Project Name	Drawing No.	Revision	Date	Drawn	Checked	Project Principal	Scale
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LEGEND

GENERAL

- PROPERTY BOUNDARY
- BOUNDARY
- STAGING

YIELD

- >500m² LOTS 9 TOTAL
- 450-500m² LOTS 18 TOTAL
- * 445-449m² LOTS 3 TOTAL
- 400-444m² LOTS 6 TOTAL
- 300-399m² LOTS 19 TOTAL

TOTAL RESIDENTIAL LOTS 55 TOTAL

ACCESS AND CIRCULATION

- ROAD VERGE
- ACCESS STREET
- COLLECTOR ROAD

OPEN SPACE

- PEDESTRIAN LINK/ DRAINAGE CORRIDOR
- BOLLARDS

DEVELOPMENT YIELD

RESIDENTIAL AREAS = 2.490 ha = 78.2 %

ROAD AREA
- INCLUDING VERGE & PATHS = 0.632 ha = 19.9%

PEDESTRIAN LINK = 0.060 ha = 1.90%

TOTAL SITE AREA = 3.182 ha = 100%

DENSITY*

GIBBS = 15 LOT/HA

*Including collector road areas (0.454ha)



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Drawing Title	Project Name	Drawing No.	Revision	Date	Drawn	Checked	Project Principal	Scale
	DAWN GIBBS RAL PACKAGE	0714-0279-50-D002	03	09.02.2023	TR	MK	MH	1:1500 (A3)



LEGEND

GENERAL

- PROPERTY BOUNDARY
- STAGING

YIELD

- >500m² LOTS
- 450-500m² LOTS
- * 445-449m² LOTS
- 400-444m² LOTS
- 300-399m² LOTS

ACCESS AND CIRCULATION

- ROAD VERGE
- ACCESS STREET
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OPEN SPACE

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LEGEND

GENERAL

- PROPERTY BOUNDARY
- BOUNDARY
- BUILDING ENVELOPE
- OPTIONAL BUILT TO BOUNDARY WALL
- STAGING
- PREFERRED DRIVEWAY/GARAGE LOCATION (DOUBLE, SINGLE OR TANDEM)
- INDICATIVE PREFERRED LOCATION OF OPEN SPACE

YIELD

- >500m²
- 450-500m² LOTS
- 445-449m² LOTS
- 400-444m² LOTS
- 300-399m² LOTS

ACCESS AND CIRCULATION

- ROAD VERGE
- ACCESS STREET
- COLLECTOR ROAD

OPEN SPACE

- PEDESTRIAN LINK/ DRAINAGE CORRIDOR
- BOLLARDS
- INDICATIVE BIN PADS LOCATION FOR LOTS 805, 804, 803, 802 & 806



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GIBBS PLAN OF DEVELOPMENT	DAWN GIBBS RAL PACKAGE	0714-0279-50-D002	03	09.02.2023	TR	MK	MH	1:1500 (A3)



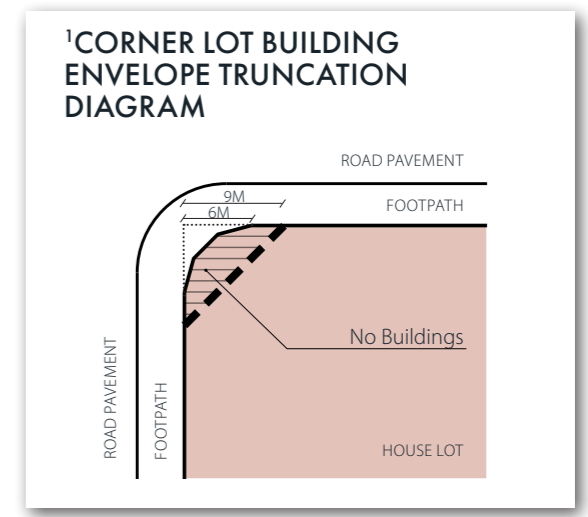
BUILDING ENVELOPE DETACHED DWELLINGS

ALLOTMENTS SET		
Allotment type	Detached	
BUILDING ENVELOPE		
FRONT SETBACKS		
Front setback (Primary frontage)	To front building line/dwelling wall	3.5m
	To outermost projection	3.0m
	To garage door	4.9m
Front setback (Secondary frontage)	To front building line/dwelling wall	3.0m
	Ground level verandas / patios	2.0m
REAR SETBACK TO WALL		
	Ground floor	0.9m
	First floor (if applicable) above 4.5m	1.5m
SIDE SETBACKS		
Side setback to outermost projection	Ground floor	0.9m
	First floor (if applicable) above 4.5m	1.5m
Non built to boundary walls		
Side setback	Ground floor	0.0m
Built to boundary wall (Optional)		
GARAGES, SITE COVER, POS, HEIGHT, WALL LENGTHS		
Preferred garage location	Along built to boundary wall or otherwise indicated on the Plan of Development	
Site cover	Max. 60%	
Private open space (POS)	Minimum 16m ² at ground level (min. dimension 4m); min 8m ² above ground (min. dimension 2.4m)	
Maximum length and height of built to boundary wall	15m long and max 3.5m high	
Street frontage	Buildings must address primary and (if applicable) secondary street frontages. Where applicable, buildings must address parks/open space	
Building design	For legibility, entries to buildings must be exposed to the main street frontage and be clearly delineated/legible. Building Design, detailing and finishes must provide an appropriate scale to the street and visual interest.	
Corner lots	6.0m x6.0m truncation ¹	
Preferred garage location	As indicated on the Plan of Development	
Garages	Single, tandem or double. Where a double garage is proposed, the dwelling must have a habitable room facing the street. Garages, carports and other parking structures are sited such that they are located behind the front building setback and designed so as not to dominate the street frontage	
Fencing front	Primary	1200mm high, or 1800mm high with 50% transparency; Front facing fencing must be located 600mm behind the façade of the side the fence is on.
	Secondary	1200mm high; or 1800mmhigh if the fence has a solid appearance to 1200mm high and comprises a transparent element to 600mm (50% transparent solid to openings); or Does not exceed 10m in length without some other form of articulation
	Side & Rear	Max 1800mm; No transparency
	Adjoining parkland/ drainage reserve	1200mm high; or 1800m high if the fence has a solid appearance to 1200mm high and comprises a transparent element to 600mm (50% transparent solid to openings); or 1500mm pool fence style construction

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LEGEND

GENERAL

-  PROPERTY BOUNDARY
-  BOUNDARY
-  1.5m FOOTPATH
-  2.0m FOOTPATH
-  STAGING
-  PREFERRED DRIVEWAY/GARAGE LOCATION (DOUBLE, SINGLE OR TANDEM)



ACCESS AND CIRCULATION

-  ROAD VERGE
-  ACCESS STREET
-  COLLECTOR ROAD

OPEN SPACE

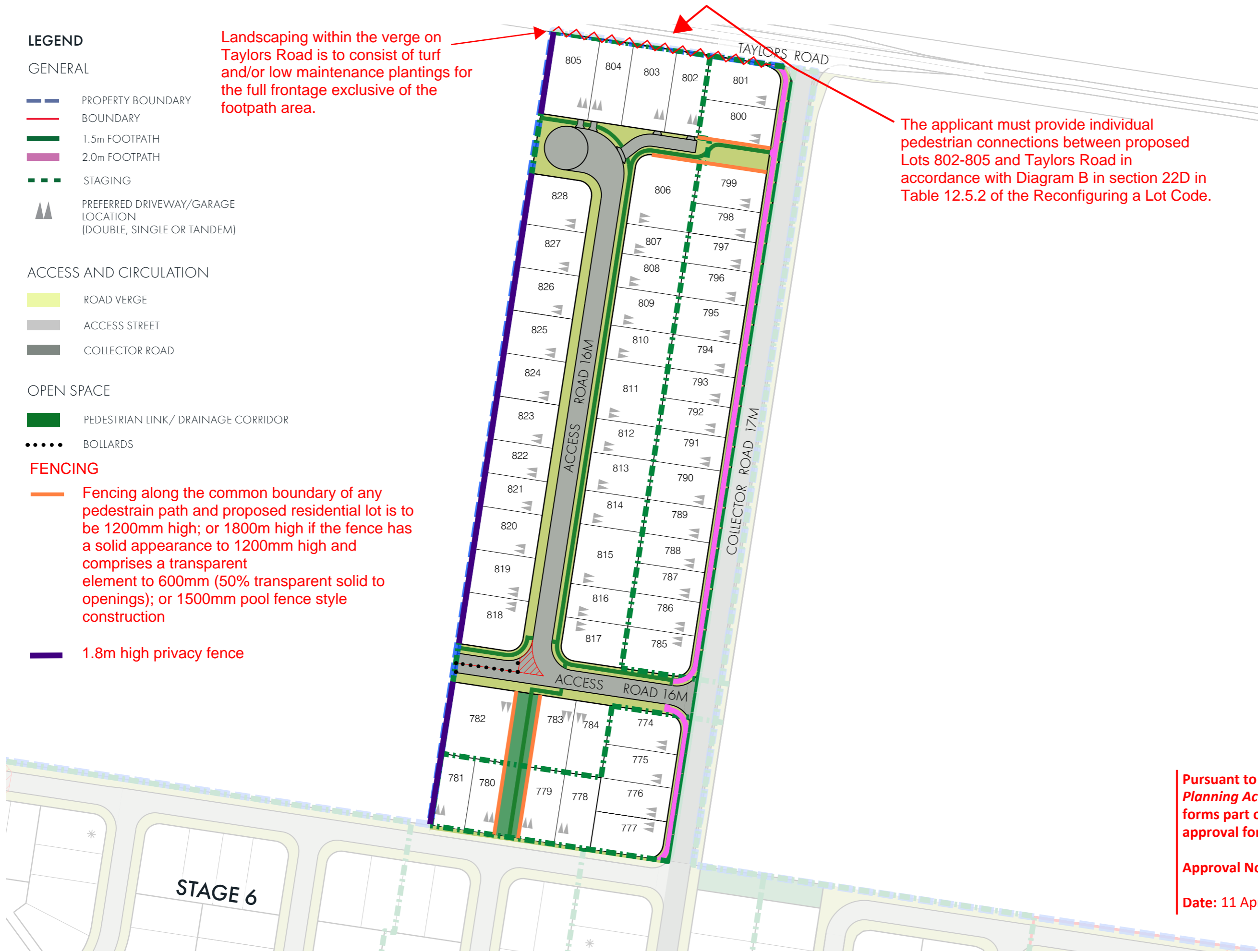
-  PEDESTRIAN LINK/ DRAINAGE CORRIDOR
-  BOLLARDS

FENCING

-  Fencing along the common boundary of any pedestrian path and proposed residential lot is to be 1200mm high; or 1800mm high if the fence has a solid appearance to 1200mm high and comprises a transparent element to 600mm (50% transparent solid to openings); or 1500mm pool fence style construction
-  1.8m high privacy fence

Landscaping within the verge on Taylors Road is to consist of turf and/or low maintenance plantings for the full frontage exclusive of the footpath area.

The applicant must provide individual pedestrian connections between proposed Lots 802-805 and Taylors Road in accordance with Diagram B in section 22D in Table 12.5.2 of the Reconfiguring a Lot Code.



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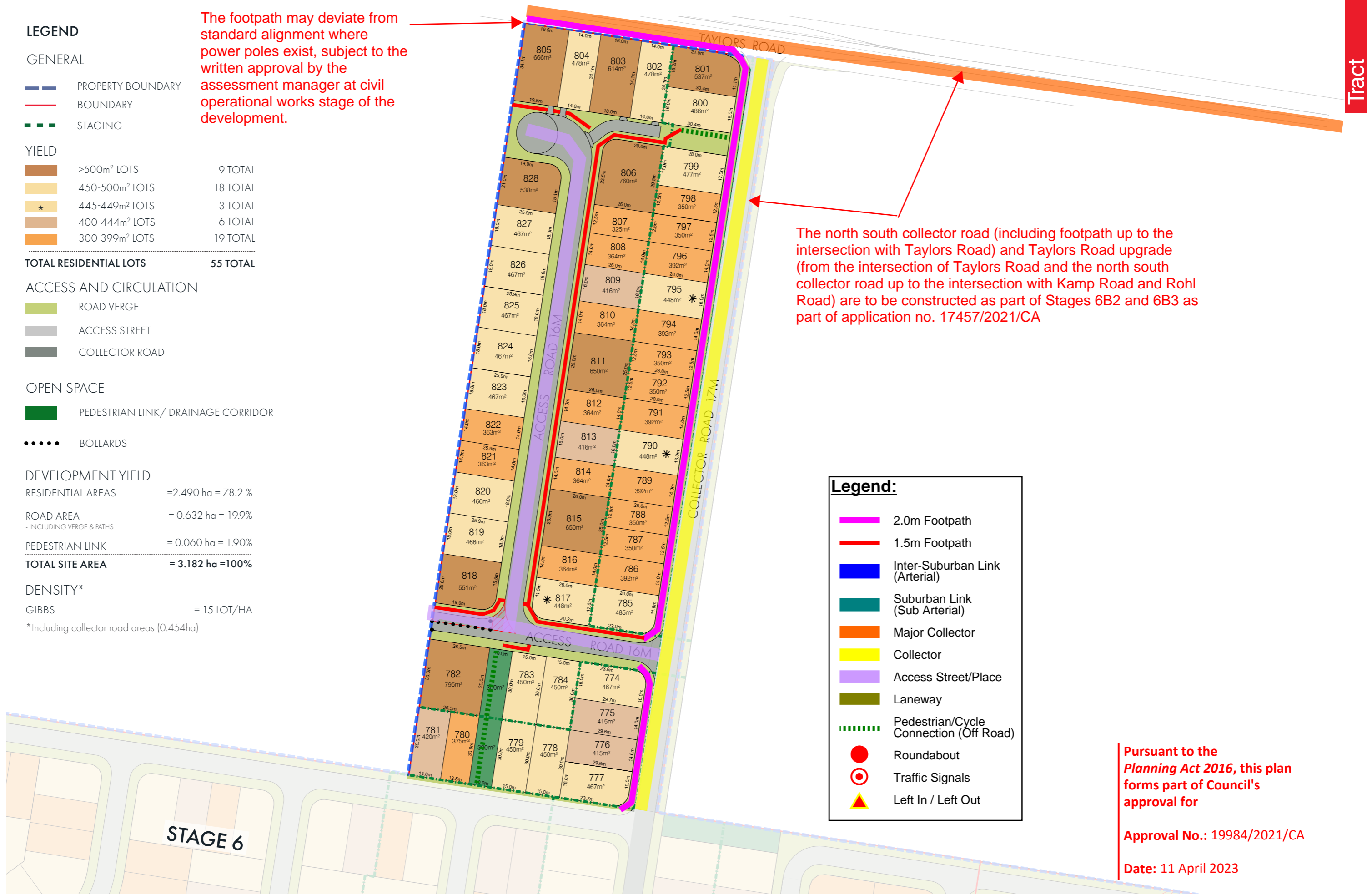
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The footpath may deviate from standard alignment where power poles exist, subject to the written approval by the assessment manager at civil operational works stage of the development.

The north south collector road (including footpath up to the intersection with Taylors Road) and Taylors Road upgrade (from the intersection of Taylors Road and the north south collector road up to the intersection with Kamp Road and Rohl Road) are to be constructed as part of Stages 6B2 and 6B3 as part of application no. 17457/2021/CA



Legend:

- 2.0m Footpath
- 1.5m Footpath
- Inter-Suburban Link (Arterial)
- Suburban Link (Sub Arterial)
- Major Collector
- Collector
- Access Street/Place
- Laneway
- Pedestrian/Cycle Connection (Off Road)
- Roundabout
- Traffic Signals
- Left In / Left Out

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