

CONTEXT PLAN

DAWN GIBBS RAL PACKAGE

0714-0279-50-D002

03

09.02.2023

TR MK MH

0 5 10 20

LEGEND TAYLORS ROAD GENERAL PROPERTY BOUNDARY 800 486m² BOUNDARY STAGING YIELD 799 477m² >500m² LOTS 9 TOTAL 806 760m² 828 18 TOTAL 450-500m² LOTS 445-449m² LOTS 3 TOTAL 400-444m² LOTS 6 TOTAL 827 797 350m² 300-399m² LOTS 19 TOTAL 796 392m² TOTAL RESIDENTIAL LOTS 55 TOTAL 826 467m² 809 ACCESS AND CIRCULATION 795 448m² ***** 825 467m² ROAD VERGE 794 392m² ACCESS STREET 793 350m² 28.0m 792 350m² COLLECTOR ROAD 7 823 467m² OPEN SPACE 791 392m² ROAD PEDESTRIAN LINK/ DRAINAGE CORRIDOR 813 •••• BOLLARDS 790 448m² ***** 25.9m 821 363m² COLLECTOR 814 364m² DEVELOPMENT YIELD 789 392m² 820 466m² RESIDENTIAL AREAS =2.490 ha = 78.2 %^{28.0}m 788 350m² = 0.632 ha = 19.9%ROAD AREA - INCLUDING VERGE & PATHS 819 787 350m² = 0.060 ha = 1.90%PEDESTRIAN LINK 816 364m² = 3.182 ha =100% TOTAL SITE AREA 786 392m² 818 DENSITY* 785 485m² GIBBS = 15 LOT/HA *Including collector road areas (0.454ha) ACCESS ROAD 16M 782 795m² 783 774 467m² 775 415m² **Pursuant to the** Planning Act 2016, this plan forms part of Council's approval for STAGE 6 **Approval No.:** 19984/2021/CA **Date:** 11 April 2023

Drawing Title
Project Name
Drawing No.
Revision Date
Drawn Checked Project Principal Scale
1:1500 (A3)

 RAL PLAN
 DAWN GIBBS RAL PACKAGE
 0714-0279-50-D002
 03
 09.02.2023
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 0
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LEGEND TAYLORS ROAD 803 614m² GENERAL 802 478m² PROPERTY BOUNDARY 800 486m² staging YIELD 10M >500m² LOTS 799 ^{477m²} 450-500m² LOTS 806 760m² 828 445-449m² LOTS 798 350m² 400-444m² LOTS 827 467m² 300-399m² LOTS 797 350m² 796 392m² ACCESS AND CIRCULATION 795 448m² * 809 ROAD VERGE ACCESS STREET 810 364m² 794 392m² COLLECTOR ROAD 824 467m² 793 350m² OPEN SPACE 792 350m² 823 467m² PEDESTRIAN LINK/ DRAINAGE CORRIDOR 791 392m² BOLLARDS 813 790 _{448m²} * 821 363m² 814 364m² 789 392m² 820 466m² 788 350m² 815 650m² 819 466m² 787 350m² 786 392m² 818 **★** 817 785 485m² STAGE 2 16M 782 795m² 783 _{450m²} 784 450m² 775 415m² 780 375m² 779 ₄₅₀m² 778 450m² **Pursuant to the** Planning Act 2016, this plan STAGE 1 777 467m² forms part of Council's approval for **Approval No.:** 19984/2021/CA **Date:** 11 April 2023

1:1500 (A3) **GIBBS STAGING** DAWN GIBBS RAL PACKAGE 0714-0279-50-D002 03 09.02.2023 TR MHMK

Drawing No.

Revision Date

Checked Project Principal

Scale

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Drawing Title



TAYLORS ROAD **LEGEND** GENERAL PROPERTY BOUNDARY 800 BOUNDARY BUILDING ENVELOPE OPTIONAL BUILT TO BOUNDARY WALL STAGING PREFERRED DRIVEWAY/GARAGE LOCATION (DOUBLE, SINGLE OR TANDEM) INDICATIVE PREFERRED LOCATION OF OPEN SPACE YIELD $>500 \, \text{m}^2$ 795 448m² 450-500m² LOTS 445-449m² LOTS 400-444m² LOTS 300-399m² LOTS ACCESS AND CIRCULATION ROAD VERGE ACCESS STREET COLLECTOR ROAD 820 466m² OPEN SPACE PEDESTRIAN LINK/ DRAINAGE CORRIDOR 819 BOLLARDS INDICATIVE BIN PADS LOCATION FOR FOR LOTS 805, 804,803,802 & 806 ROAD 16M Pursuant to the

Planning Act 2016, this plan forms part of Council's approval for

Approval No.: 19984/2021/CA

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STAGE 6

GIBBS PLAN OF DEVELOPMENT DAWN GIBBS RAL PACKAGE 0714-0279-50-D002 03 09.02.2023 TR MK MH 0 15 30 60



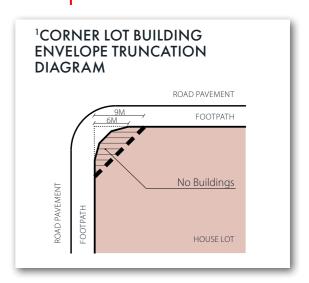
BUILDING ENVELOPE DETACHED DWELLINGS

ALLOTMENTS SET			
Allotment type		Detached	
BUILDING ENVELOPE			
FRONT SETBACKS			
Front setback (Primary frontage)	To front building line/dwelling wall	3.5m	
	To outermost projection	3.0m	
	To garage door	4.9m	
Front setback	To front building line/dwelling wall	3.0m	
(Secondary frontage)	Ground level verandas / patios	2.0m	
REAR SETBACK TO WALL			
	Ground floor	0.9m	
	First floor (if applicable) above 4.5m		1.5m
SIDE SETBACKS			
Side setback to Ground floor		0.9m	
outermost projection	First floor (if applicable) above 4.5m	1.5m	
Non built to boundary walls			
Side setback	Ground floor	0.0m	
Built to boundary wall (Optional)			
GARAGES, SITE COVER, POS,	HEIGHT, WALL LENGTHS		
Preferred garage location		Along built to boundary wall or otherwise indicated on the Plan of Development	
Site cover		Max. 60%	
Private open space (POS)		Minimum 16m² at ground level (min. dimension 4m); min 8m² above ground (min. dimension 2.4m)	
Maximum length and height of built to boundary wall		15m long and max 3.5m high	
Street frontage		Buildings must address primary and (if applicable) secondary street frontages. Where applicable, buildings must address parks/open space	
Building design		For legibility, entries to buildings must be exposed to the main street frontage and be clearly delineated/legible. Building Design, detailing and finishes must provide an appropriate scale to the street and visual interest.	
Corner lots		6.0m x6.0m truncation ¹	
Preferred garage location		As indicated on the Plan of Development	
Garages		Single, tandem or double. Where a double garage is proposed, the dwelling must have a habitable room facing the street. Garages, carports and other parking structures are sited such that they are located behind the front building setback and designed so as not to dominate the street frontage	
Fencing front		Primary	1200mm high, or 1800mm high with 50% transparency; Front facing fencing must be located 600mm behind the façade of the side the fence is on.
		Secondary	1200mm high; or 1800mmhigh if the fence has a solid appearance to 1200mm high and comprises a transparent element to 600mm (50% transport solid to openings); or Does not exceed 10m in length without some other form of articulation
		Side & Rear	Max 1800mm; No transparency
		Adjoining parkland/ drainage reserve	1200mm high; or 1800m high if the fence has a solid appearance to 1200mm high and comprises a transparent element to 600mm (50% transparent solid to openings); or 1500mm pool fence style construction

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GIBBS PLAN OF DEVELOPMENT SETBACK DAWN GIBBS RAL PACKAGE 0714-0279-50-D002 03 09.02.2023 TR MK MH



LEGEND

GENERAL

PROPERTY BOUNDARY BOUNDARY

Landscaping within the verge on

Taylors Road is to consist of turf

the full frontage exclusive of the

footpath area.

and/or low maintenance plantings for

1.5m FOOTPATH 2.0m FOOTPATH

STAGING

PREFERRED DRIVEWAY/GARAGE LOCATION (DOUBLE, SINGLE OR TANDEM)

ACCESS AND CIRCULATION

ROAD VERGE

ACCESS STREET

COLLECTOR ROAD

OPEN SPACE

PEDESTRIAN LINK/ DRAINAGE CORRIDOR

BOLLARDS

FENCING

Fencing along the common boundary of any pedestrain path and proposed residential lot is to be 1200mm high; or 1800m high if the fence has a solid appearance to 1200mm high and comprises a transparent element to 600mm (50% transparent solid to openings); or 1500mm pool fence style construction

STAGE 6

1.8m high privacy fence

The applicant must provide individual pedestrian connections between proposed Lots 802-805 and Taylors Road in accordance with Diagram B in section 22D in Table 12.5.2 of the Reconfiguring a Lot Code.

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GIBBS FOOTPATH PLAN DAWN GIBBS RAL PACKAGE 0714-0279-50-D002 03 09.02.2023 TR ΜK MH

TAYLORS ROAD

801

800

798

797

796

795

794

793

792

791

790

789

788

787

786

785

ROAD 16M

775

776

811

805

827

826

825

824

822

821

820

819

818

783

778

804

803

802



LEGEND GENERAL PROPERTY BOUNDARY BOUNDARY STAGING **YIELD** TOTAL RESIDENTIAL LOTS COLLECTOR ROAD **OPEN SPACE**

The footpath may deviate from standard alignment where power poles exist, subject to the written approval by the assessment manager at civil operational works stage of the development.

>500m² LOTS 9 TOTAL 450-500m² LOTS 18 TOTAL 445-449m² LOTS 3 TOTAL 400-444m² LOTS 6 TOTAL 19 TOTAL 300-399m² LOTS

55 TOTAL

ACCESS AND CIRCULATION

ROAD VERGE

ACCESS STREET

PEDESTRIAN LINK/ DRAINAGE CORRIDOR

BOLLARDS

DEVELOPMENT YIELD

RESIDENTIAL AREAS =2.490 ha = 78.2 %

= 0.632 ha = 19.9%ROAD AREA - INCLUDING VERGE & PATHS

= 0.060 ha = 1.90%PEDESTRIAN LINK

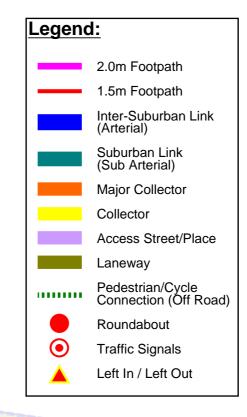
= 3.182 ha =100% **TOTAL SITE AREA**

DENSITY*

GIBBS = 15 LOT/HA

*Including collector road areas (0.454ha)

The north south collector road (including footpath up to the intersection with Taylors Road) and Taylors Road upgrade (from the intersection of Taylors Road and the north south collector road up to the intersection with Kamp Road and Rohl Road) are to be constructed as part of Stages 6B2 and 6B3 as part of application no. 17457/2021/CA



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Road and Footpath Hierarchy Plan DAWN GIBBS RAL PACKAGE

STAGE 6

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800

799 477m²

798 350m²

797 350m²

796 392m²

795 448m²

794 392m²

793 350m² 28.0m

792 350m²

791 _{392m²}

790

789

^{28.0}m 788 350m²

787 350m²

786 392m²

785 485m²

775 415m²

806 760m²

809

810 364m²

811 650m²

813

814

816 364m²

783

828

827

826

825

824

823

25.9m 821 363m²

820

466m²

819

09.02.2023

TR

03

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