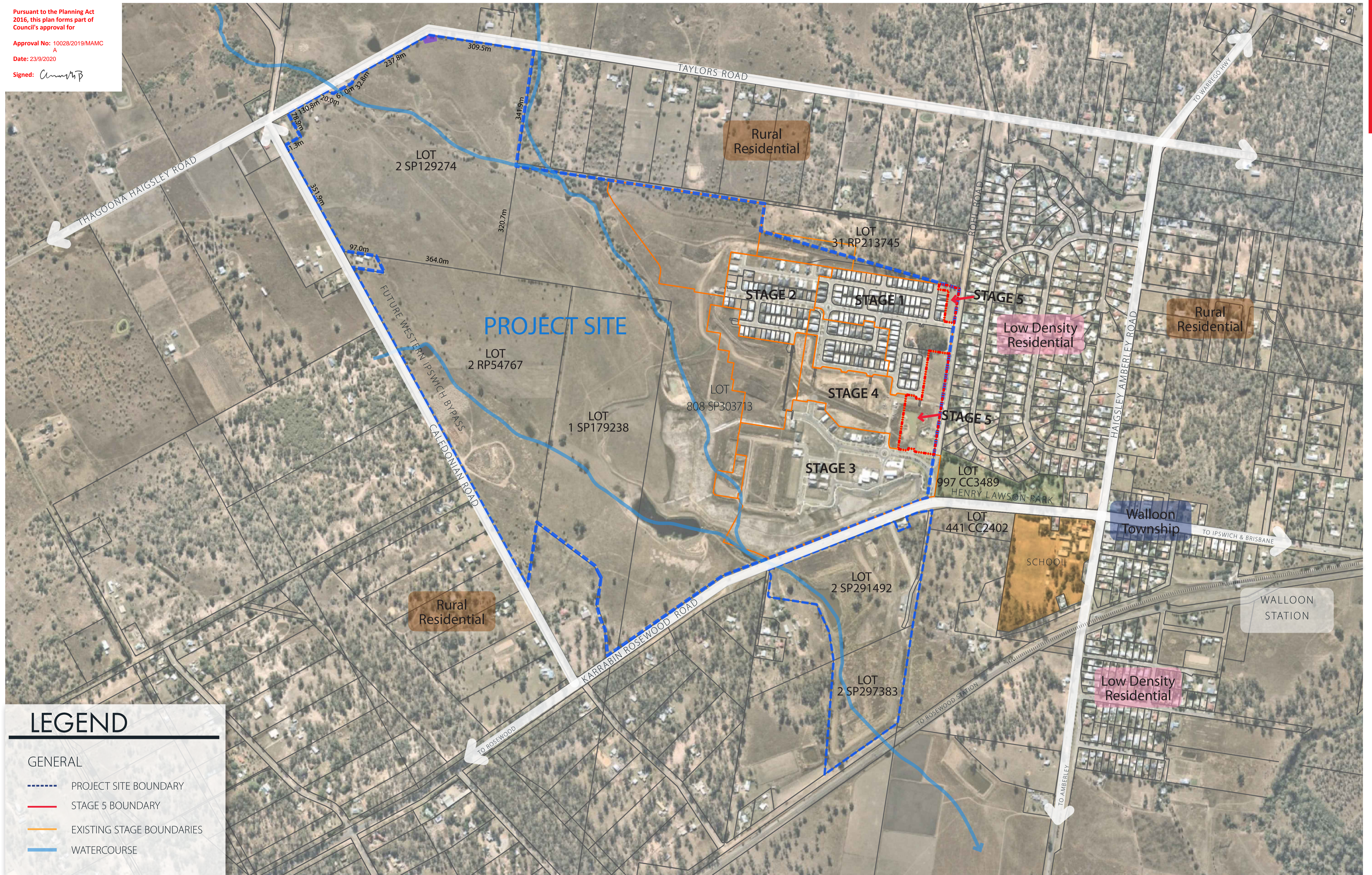


Pursuant to the Planning Act 2016, this plan forms part of Council's approval for

Approval No: 10028/2019/MAMC A

Date: 23/9/2020

Signed: *Amberley*



LEGEND

GENERAL

- PROJECT SITE BOUNDARY
- STAGE 5 BOUNDARY
- EXISTING STAGE BOUNDARIES
- WATERCOURSE

Drawing Title

Project Name

Drawing No.

Revision

Date

Drawn

Checked

Project Principal

Scale

Stage 5 - Context Plan

WATERLEA WALLOON



0715-0430-00-15-D005 -01 06

15.09.2020

GH

MH

PM

1:5000 (A1)

0 100 200 400



LEGEND

GENERAL

- PROPERTY BOUNDARY
- STAGE 5 BOUNDARY

ROAD VERGE

ACCESS AND CIRCULATION

ACCESS STREET
16m ROAD RESERVE

YIELD

- LOT SIZE 28 x 12.5 9 TOTAL
- LOT SIZE 28 x 14 5 TOTAL

- LOT SIZE 30 x 10 1 TOTAL
- LOT SIZE 30 x 12.5 30 TOTAL
- LOT SIZE 30 x 14 8 TOTAL
- LOT SIZE 30 x 16 1 TOTAL
- LOT SIZE 30 x 18 1 TOTAL

- LOT SIZE 32 x 12.5 9 TOTAL
- LOT SIZE 32 x 14 3 TOTAL

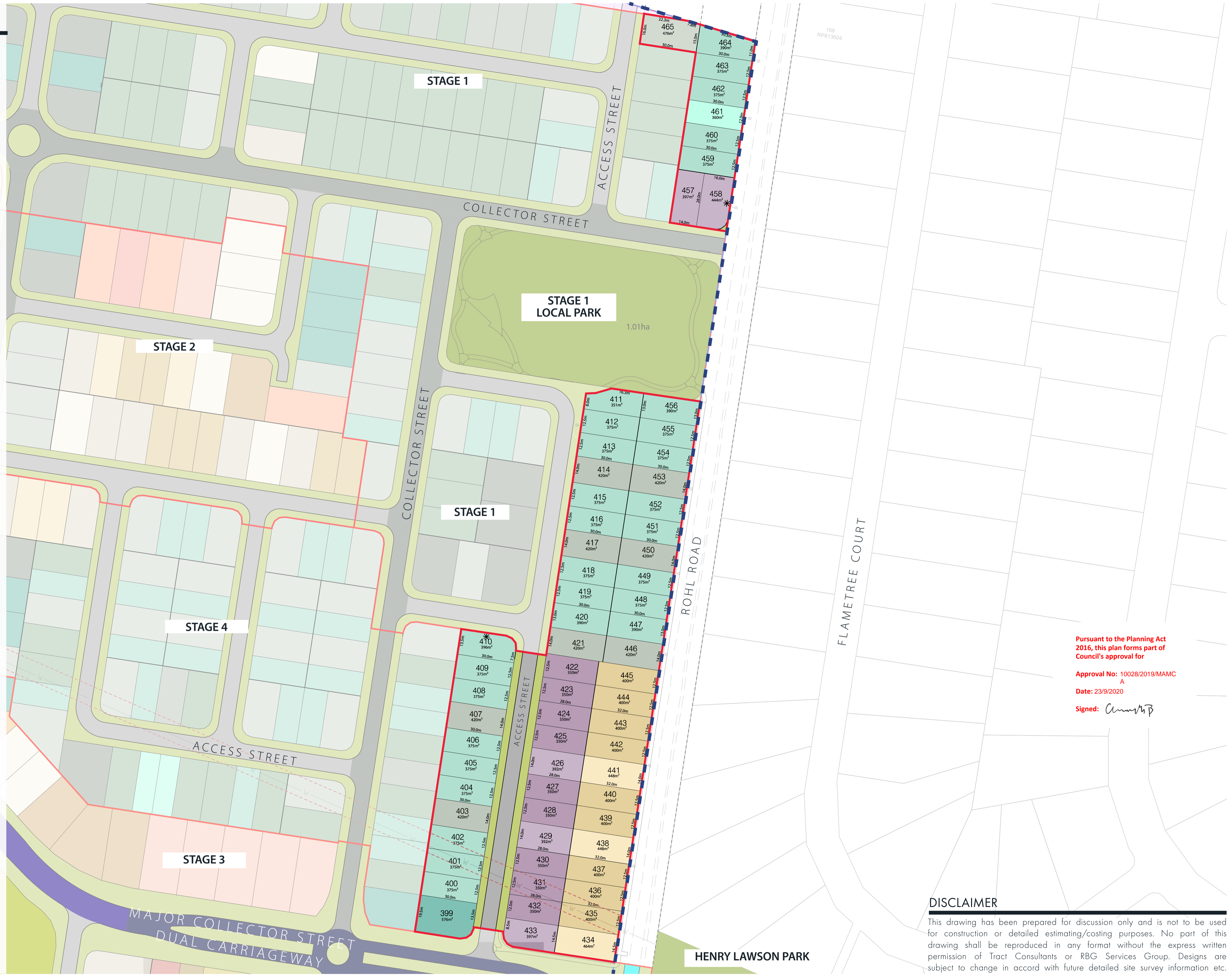
TOTAL RESIDENTIAL LOTS 67 TOTAL

DEVELOPMENT YIELD

AREA OF ALL 67 RESIDENTIAL LOTS = 2.621ha = 97.63%

ROAD AREA - INCLUDING VERGE & PATHS = 0.06ha = 2.37%

TOTAL SITE AREA = 2.685 ha = 100%



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Approval No: 10028/2019/MAMC A

Date: 23/9/2020

Signed: *[Signature]*

DISCLAIMER

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Drawing Title	Project Name	Drawing No.	Revision	Date	Drawn	Checked	Project Principal	Scale
Stage 5 RAL Plan	WATERLEA WALLOON	0715-0430-00-15-D005 -02	06	15.09.2020	GH	MH	PM	1:1000 (A1)



LEGEND

GENERAL

- STAGE BOUNDARY
- PROPERTY BOUNDARY
- STAGE 5 BOUNDARY
- ROAD VERGE

ACCESS AND CIRCULATION

- ACCESS STREET
16m ROAD RESERVE

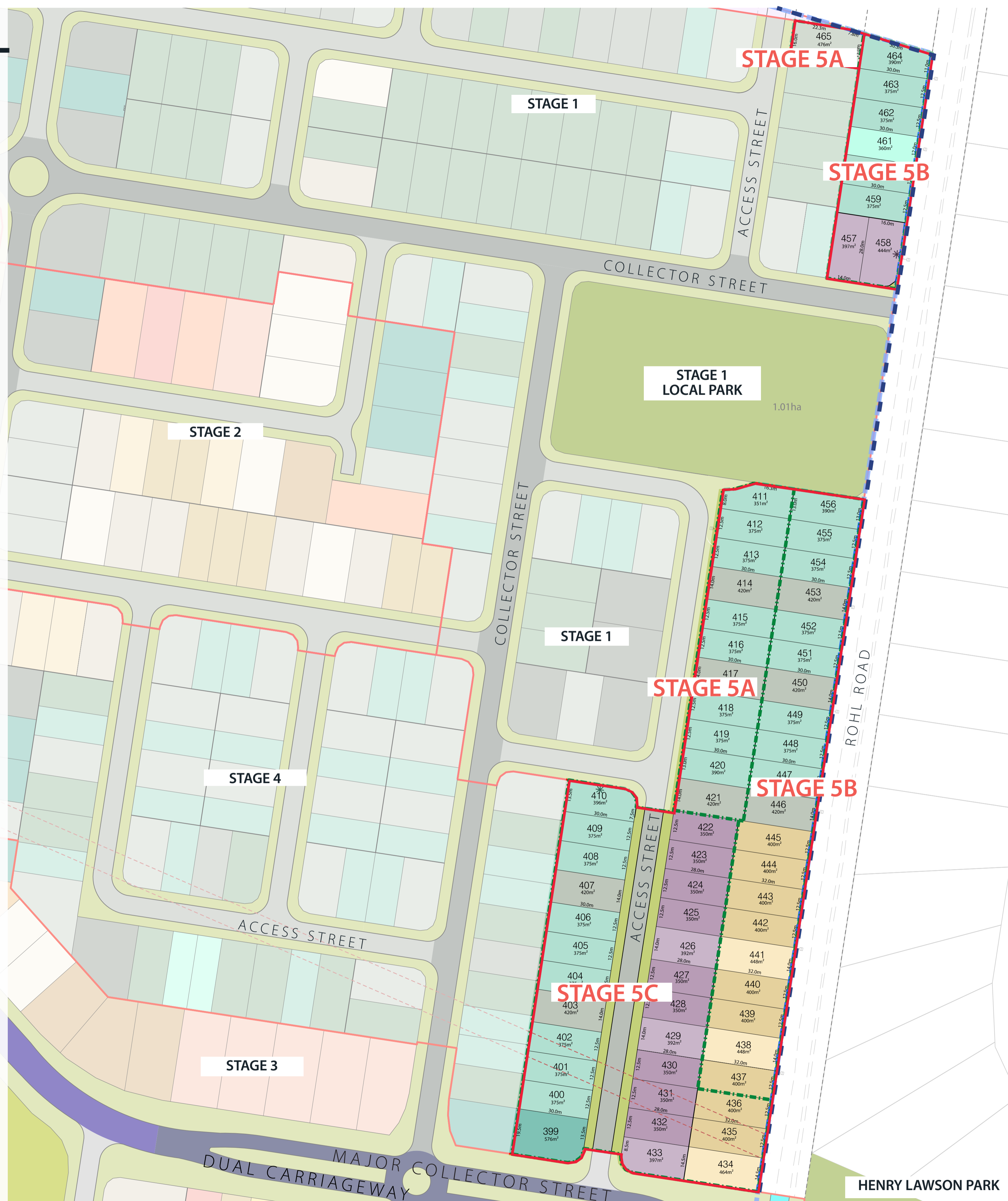
SUB - STAGING

- STAGE 5A - 0.47 HA**
12 RESIDENTIAL LOTS
- LOTS -
- ≤ 450m² = 1
- > 450m² = 11

- STAGE 5B - 1.10 HA**
28 RESIDENTIAL LOTS
- LOTS -
- ≤ 450m² = 0
- > 450m² = 28

- STAGE 5C - 1.04 HA**
27 RESIDENTIAL LOTS
- LOTS -
- ≤ 450m² = 1
- > 450m² = 26

- TOTAL: 2.62 HA**
- LOTS -
- ≤ 450m² = 2
- > 450m² = 65



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A

Date: 23/9/2020

Signed: *[Signature]*

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Drawing Title

Project Name

Drawing No.

Revision

Date

Drawn

Checked

Project Principal

Scale

Stage 5- Staging Plan

WATERLEA WALLOON



0715-0430-00-15-D005-06 06

15.09.2020

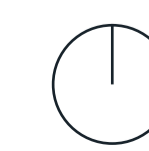
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0 20 40 100



LEGEND

GENERAL

- PROPERTY BOUNDARY
- STAGE 5 BOUNDARY
- ROAD VERGE
- PEDESTRIAN CONNECTION
INCLUDES 1.5m PATHWAY & 1.5m PLANTING

ACCESS AND CIRCULATION

- ACCESS STREET
16m ROAD RESERVE
- ▲▲ PREFERRED DRIVEWAY LOCATION

FOOTPATHS / PEDESTRIAN ACCESS

- PEDESTRIAN FOOTPATH
2.0m
- PEDESTRIAN FOOTPATH
1.5m



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A

Date: 23/9/2020

Signed: *[Signature]*

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Drawing Title	Project Name	Drawing No.	Revision	Date	Drawn	Checked	Project Principal	Scale
Stage 5- Road & Footpath Hierarchy	WATERLEA WALLOON	0715-0430-00-15-D005-12	06	15.09.2020	GH	MH	PM	1:1000 (A1)



Building Envelope Detached Dwellings

LEGEND

GENERAL

- PROPERTY BOUNDARY
- STAGE 5 BOUNDARY
- BUILDING ENVELOPE
- OPTIONAL BUILT TO BOUNDARY WALL
- MANDATORY DRIVEWAY/GARAGE LOCATION (DOUBLE, SINGLE OR TANDEM)
- INDICATIVE PREFERRED LOCATION OF OPEN SPACE

RESIDENTIAL ALLOTMENTS

- RESIDENTIAL LOT 350-450m²
- RESIDENTIAL LOT 451-4000m²

DISCLAIMER

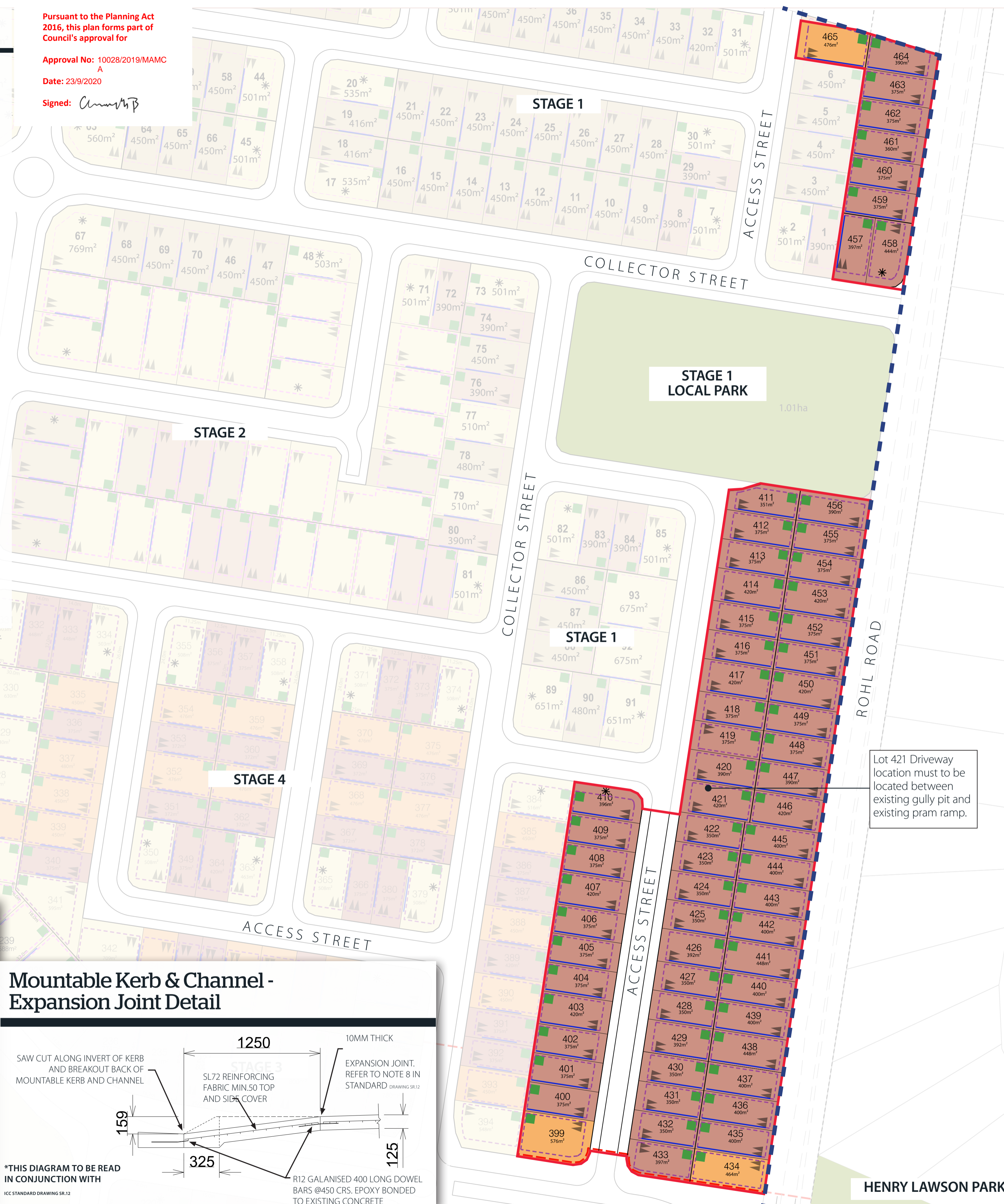
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A

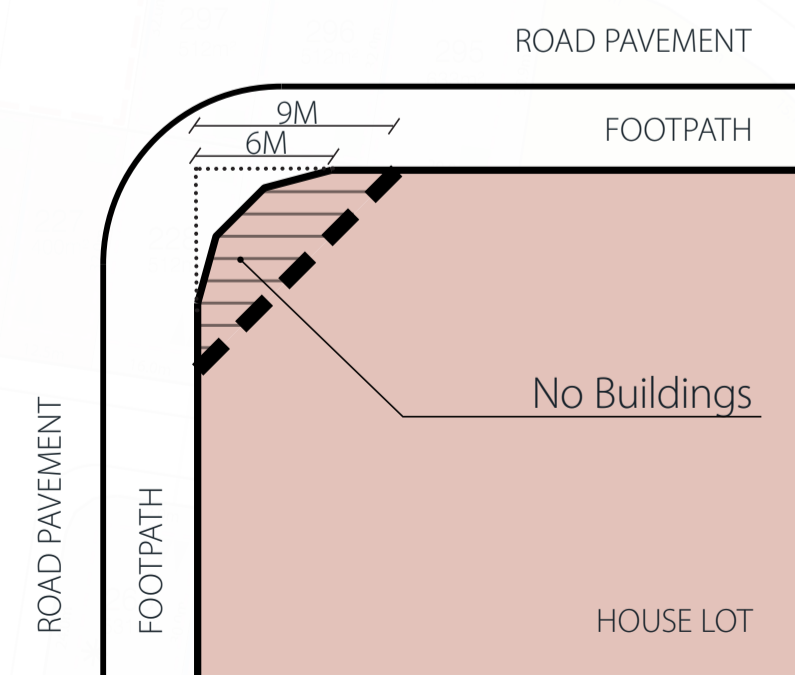
Date: 23/9/2020

Signed:

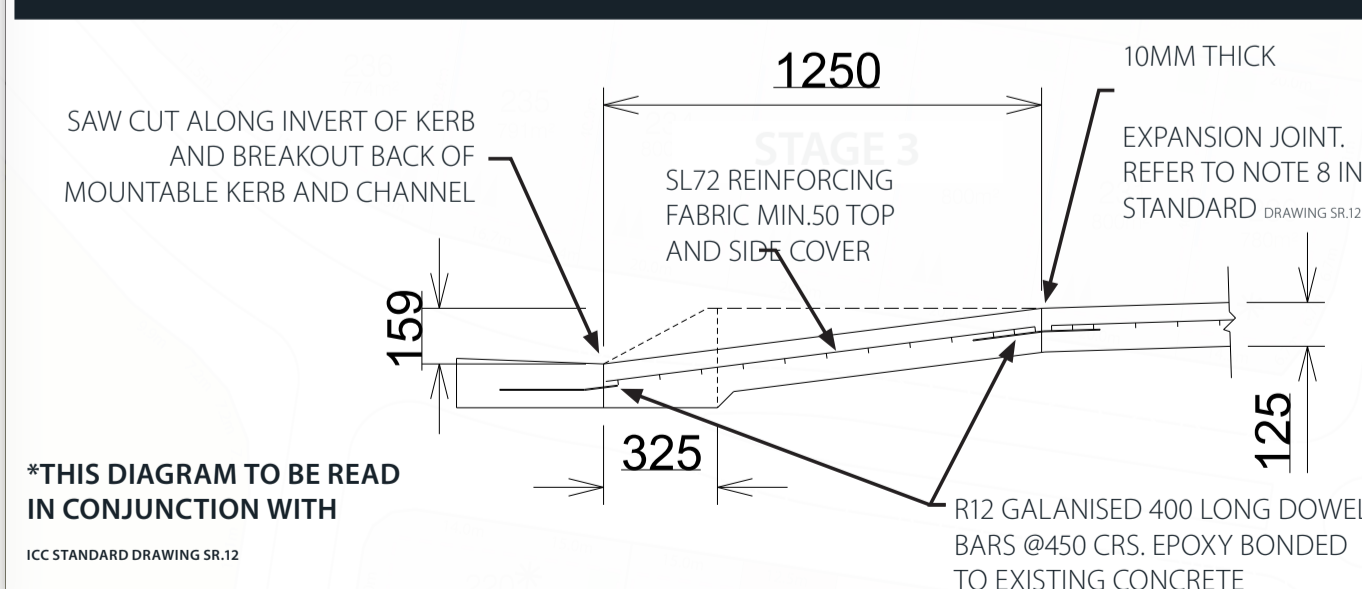


ALLOTMENTS SET		
Allotment Type	Detached	
Allotment Width	12.0 - 14.9m	15m +
Typical area (m ²)	251 - 450m ²	451m ² +
BUILDING ENVELOPE		
FRONT SETBACKS		
Front Setback (Primary Frontage)	To Front Building line / Dwelling Wall	3.5m
	To Garage Door	4.9m
	Outermost Projection	3.0m
Front Setback (Secondary Frontage)	To Front Building Line / Dwelling Wall	3.0m
	Ground Level Verandas /Patios	2.0m
REAR SETBACKS		
Rear Setback to Wall	Ground Floor	0.9m
	First Floor (if applicable) above 4.5m	1.5m
SIDE SETBACKS		
Side Setback (Built to Boundary Walls (Optional))	Ground Floor	0.0m
	First Floor (if applicable) above 4.5m	1.5m
Side Setback (Non Built to Boundary Walls)	Ground Floor	0.9m
	First Floor (if applicable) above 4.5m	1.5m
GARAGES, SITE COVER, POS, HEIGHT, WALL LENGTHS, WATER TANKS		
Preferred Garage Location	Along built to Boundary Wall or otherwise indicated on the Plan of Development	
Site Cover	Max. 60%	
Private Open Space (POS)	Minimum 16m ² at Ground Level (min. Dimension 4m); Min 8m ² above ground (min. Dimension 2.4m)	
Maximum Length and Height of Built to Boundary Wall	15m long and max 3.5m high	
Street Frontage	Buildings must address primary and (if applicable) secondary street frontages. Where applicable, buildings must address parks/ open space.	
Building Design	For legibility, entries to buildings must be exposed to the main street frontage and be clearly delineated/ legible. Building Design, detailing and finishes must provide an appropriate scale to the street and visual interest.	
Garages	Single, Tandem or double. Where a double garage is proposed, the dwelling must have a habitable room facing the street. Garages, carports and other parking structures are sited such that they are located behind the front building setback and designed so as not to dominate the street frontage.	
Fencing Front	Primary	1200mm or 1800mm with 50% Transparency; Front facing fencing must be located 600mm behind the facade of the side the fence is on.
	Secondary	Max, 1800mm; Fences do not exceed 10m in length without some form of Articulation.
	Side & Rear	Max 1800mm; No Transparency
Rainwater Tank	Each single residential dwelling, on each lot is to be connected to a rainwater tank as per the specification requirements detailed in condition 7. 'Rainwater Tank,' otherwise the developer is to make a financial contribution to council for each lot as per the agreed strategy, as also detailed in Condition 7 'Rainwater Tank.'	

'Corner Lot Building Envelope Truncation Diagram



Mountable Kerb & Channel - Expansion Joint Detail



Drawing Title

Project Name

Drawing No.

Revision

Date

Drawn

Checked

Project Principal

Scale

