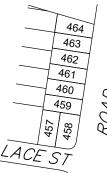
PROPOSED LOT 438 **PROPOSED** 400m2 LOT 437 ROHL 278°42'30 **PROPOSED FUTURE** DEVELOPMENT

LOCALITY DIAGRAM DISCLOSURE PLAN FOR PROPOSED LOT 437

Details of Proposed Lot 437 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants.

using As Constructed information for design purposes.

NOT TO SCALE This plan shows:



453 452 451

A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SP129274, Lot 2 on RP54767, Lot 1 on SP179238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions. This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary

> Engineering details shown hereon were supplied by Calibre on 9th March 2021. Design surface contours based on AHD D

— *63.5*— datum at an interval of 0.5m, shown as:

from final site conditions. Waterlea Nominees Co Pty Ltd recommends

Where applicable, Easements are shown as:

Where applicable areas to be filled are shown as:

Where applicable areas to be cut are shown as:

Where applicable, Retaining walls are shown as:

Maximum Fill Depth: I.Im

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798—2007 and Ipswich City Council Planning Scheme Policy 3 — General Works, Part 4 — Eathworks.

Client:

Project:

WATERLEA STAGE 5B

WATERLEA

NOMINEES CO PTY LTD

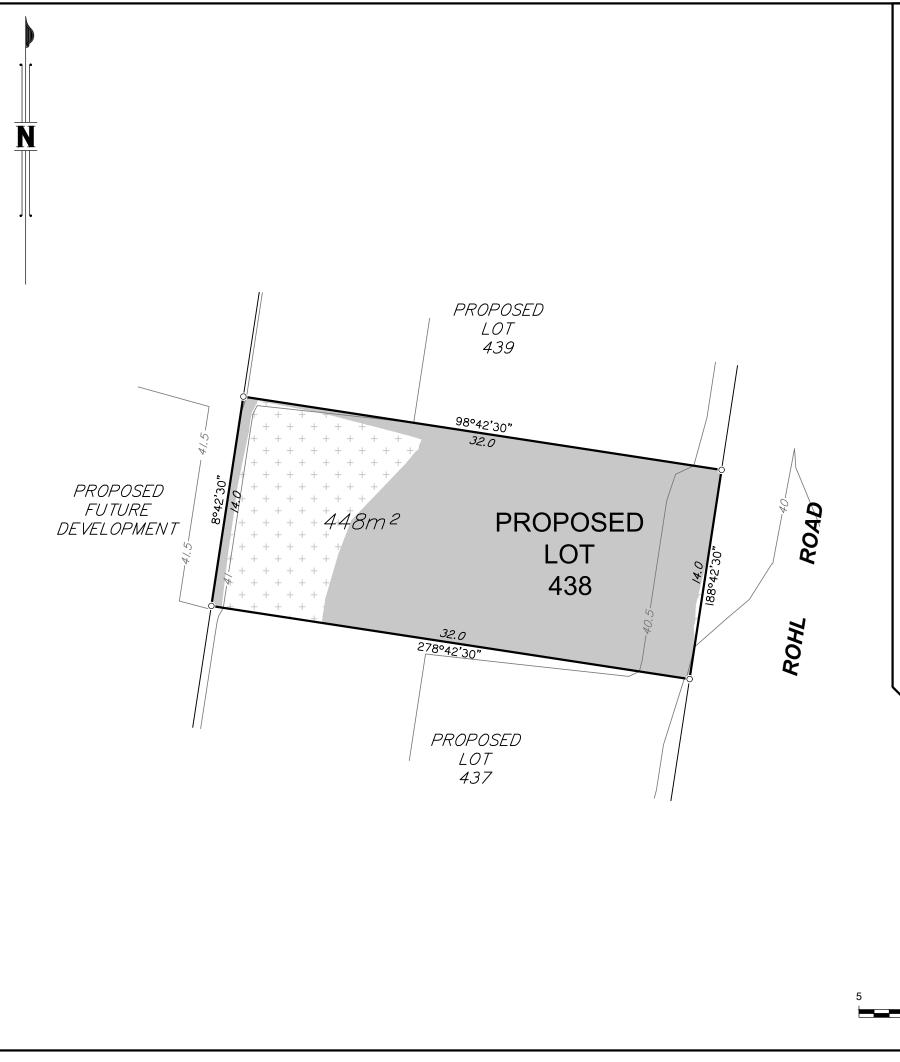




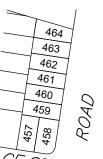
Western Corridor Office Level 6, Springfield Tower 145 Sinnathamby Boulevard Springfield Central QLD 4300 PO Box 4647 Springfield QLD 4300

t (07) 3470 8100 (07) 3470 8101 e info@landpartners.com.au w www.landpartners.com.au

DRAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER WC007157-05B-3-2	
DATE	18/03/2021		



LOCALITY DIAGRAM DISCLOSURE PLAN FOR PROPOSED LOT 438 NOT TO SCALE This plan shows:



WALLACE ST

Details of Proposed Lot 438 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants.

A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SP129274, Lot 2 on RP54767, Lot 1 on SP179238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions.

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> Engineering details shown hereon were supplied by Calibre on 9th March 2021.

Design surface contours based on AHD D datum at an interval of 0.5m, shown as:

— *63.5*——

Where applicable, Easements are shown as:

Where applicable areas to be filled are shown as:

Where applicable areas to be cut are shown as:

Where applicable, Retaining walls are shown as:

Maximum Fill Depth: 0.6m

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798—2007 and Ipswich City Council Planning Scheme Policy 3 — General Works, Part 4 — Eathworks.

Project:

WATERLEA STAGE 5B

Client:

WATERLEA NOMINEES CO PTY LTD





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t (07) 3470 8100 (07) 3470 8101 e info@landpartners.com.au w www.landpartners.com.au

DRAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER WC007157-05B-4-2	
DATE	18/03/2021		

LOCALITY DIAGRAM NOT TO SCALE 464 463 462 461 460 459 457 WALLACEST 456 455 454 **PROPOSED** 453 LOT452 440 451 450 JANE 449 448 447 98°42'30" 446 445 444 443 442 441 440 PROPOSED **FUTURE** DEVELOPMENT **PROPOSED** 400m3 LOT 439 ROHL PROPOSED LOT 438 10m **SCALE 1:250** DATE

DISCLOSURE PLAN FOR PROPOSED LOT 439

This plan shows:

Details of Proposed Lot 439 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants.

A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SP129274, Lot 2 on RP54767, Lot 1 on SP179238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions.

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> Engineering details shown hereon were supplied by Calibre on 9th March 2021.

Design surface contours based on AHD D datum at an interval of 0.5m, shown as:

— *63.5*——

Where applicable, Easements are shown as:

Where applicable areas to be filled are shown as:

Where applicable areas to be cut are shown as:

Where applicable, Retaining walls are shown as:

Maximum Fill Depth: I.4m

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798—2007 and Ipswich City Council Planning Scheme Policy 3 — General Works, Part 4 — Eathworks.

Project:

WATERLEA STAGE 5B

Client:

WATERLEA NOMINEES CO PTY LTD





18/03/2021

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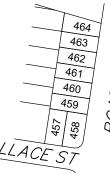
t (07) 3470 8100 (07) 3470 8101 e info@landpartners.com.au w www.landpartners.com.au

DRAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER	
DATE	18/03/2021	WC007157-05B-5-2	

LOCALITY DIAGRAM **PROPOSED** LOT 441 451 450 JANE 449 448 447 98°42'30" 446 446 445 444 443 442 441 440 439 438 437 32.0 PROPOSED **FUTURE** DEVELOPMENT ROAD PROPOSED 400m² LOT 440 **PROPOSED** LOT439 **SCALE 1:250**

DISCLOSURE PLAN FOR PROPOSED LOT 440

NOT TO SCALE



452

WALLACE ST

This plan shows:

Details of Proposed Lot 440 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants.

A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SP129274, Lot 2 on RP54767, Lot 1 on SP179238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions.

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> Engineering details shown hereon were supplied by Calibre on 9th March 2021.

Design surface contours based on AHD D datum at an interval of 0.5m, shown as:

— *63.5*——

Where applicable, Easements are shown as:

Where applicable areas to be filled are shown as:

Where applicable areas to be cut are shown as:

Where applicable, Retaining walls are shown as:

Maximum Fill Depth: I.6m

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798—2007 and Ipswich City Council Planning Scheme Policy 3 — General Works, Part 4 — Eathworks.

Project:

10m

WATERLEA STAGE 5B

Client:

WATERLEA NOMINEES CO PTY LTD

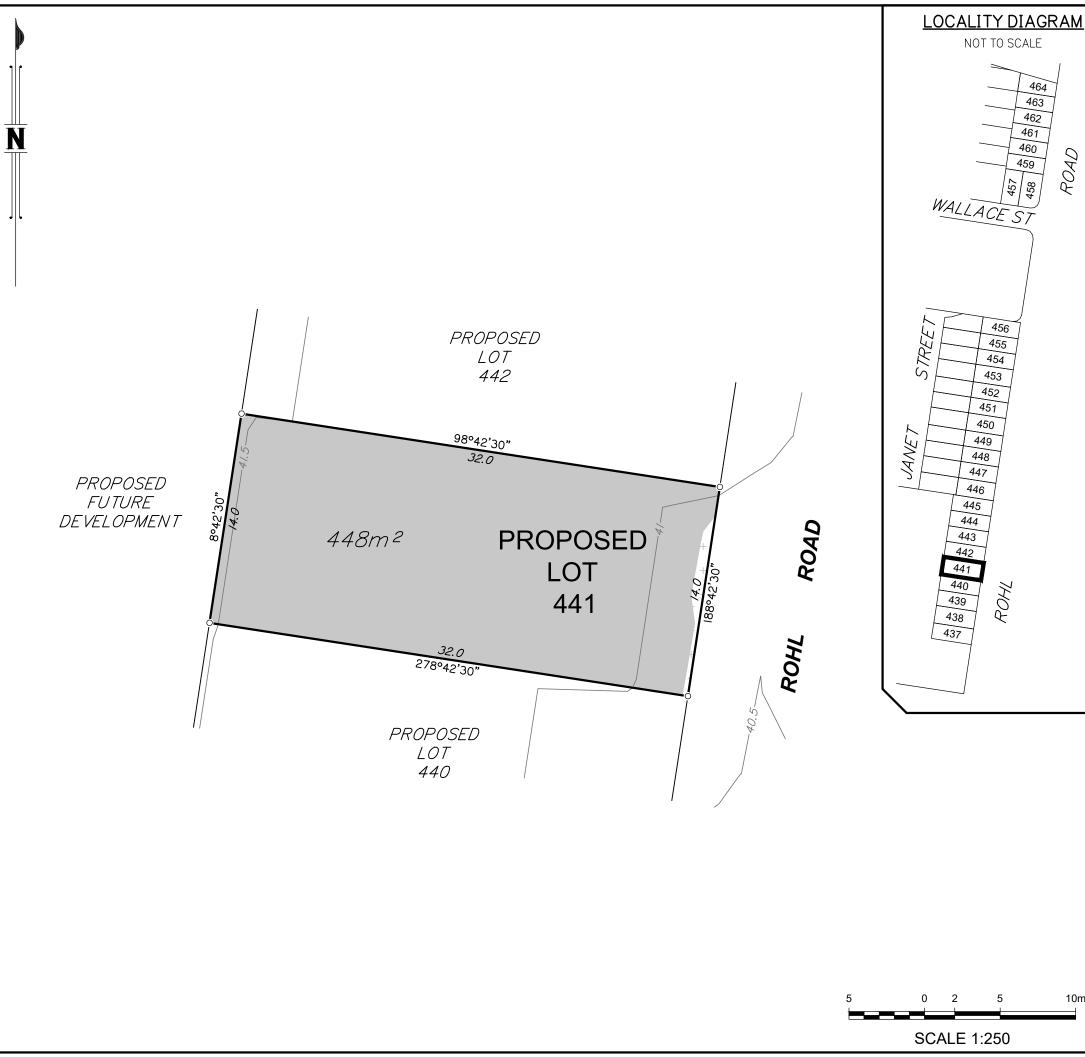


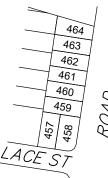


Western Corridor Office Level 6, Springfield Tower 145 Sinnathamby Boulevard Springfield Central QLD 4300 PO Box 4647 Springfield QLD 4300

t (07) 3470 8100 (07) 3470 8101 e info@landpartners.com.au w www.landpartners.com.au

DRAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER	
DATE	18/03/2021	WC007157-05B-6-2	





WALLACE ST

This plan shows:

Details of Proposed Lot 441 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants.

A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SP129274, Lot 2 on RP54767, Lot 1 on SP179238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions.

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> Engineering details shown hereon were supplied by Calibre on 9th March 2021.

Design surface contours based on AHD D datum at an interval of 0.5m, shown as:

— *63.5*——

Where applicable, Easements are shown as:

Where applicable areas to be filled are shown as:

Where applicable areas to be cut are shown as:

Where applicable, Retaining walls are shown as:

Maximum Fill Depth: I.6m

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798—2007 and Ipswich City Council Planning Scheme Policy 3 — General Works, Part 4 — Eathworks.

Project:

WATERLEA STAGE 5B

Client:

WATERLEA NOMINEES CO PTY LTD





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(07) 3470 8101 e info@landpartners.com.au w www.landpartners.com.au

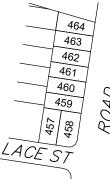
DRAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER	
DATE	18/03/2021	WC007157-05B-7-2	

10m

PROPOSED LOT 443 98°42'30" PROPOSED **FUTURE** DEVELOPMENT **PROPOSED** 400m² LOT 442 ROHL **PROPOSED** LOT 441

DISCLOSURE PLAN FOR PROPOSED LOT 442

LOCALITY DIAGRAM NOT TO SCALE



WALLACE ST

This plan shows:

Details of Proposed Lot 442 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants.

A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SP129274, Lot 2 on RP54767, Lot 1 on SP179238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions.

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> Engineering details shown hereon were supplied by Calibre on 9th March 2021.

Design surface contours based on AHD D datum at an interval of 0.5m, shown as:

— *63.5*——

Where applicable, Easements are shown as:

Where applicable areas to be filled are shown as:

Where applicable areas to be cut are shown as:

Where applicable, Retaining walls are shown as:

Maximum Fill Depth: I.4m

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798—2007 and Ipswich City Council Planning Scheme Policy 3 — General Works, Part 4 — Eathworks.

Project:

WATERLEA STAGE 5B

Client:

WATERLEA NOMINEES CO PTY LTD



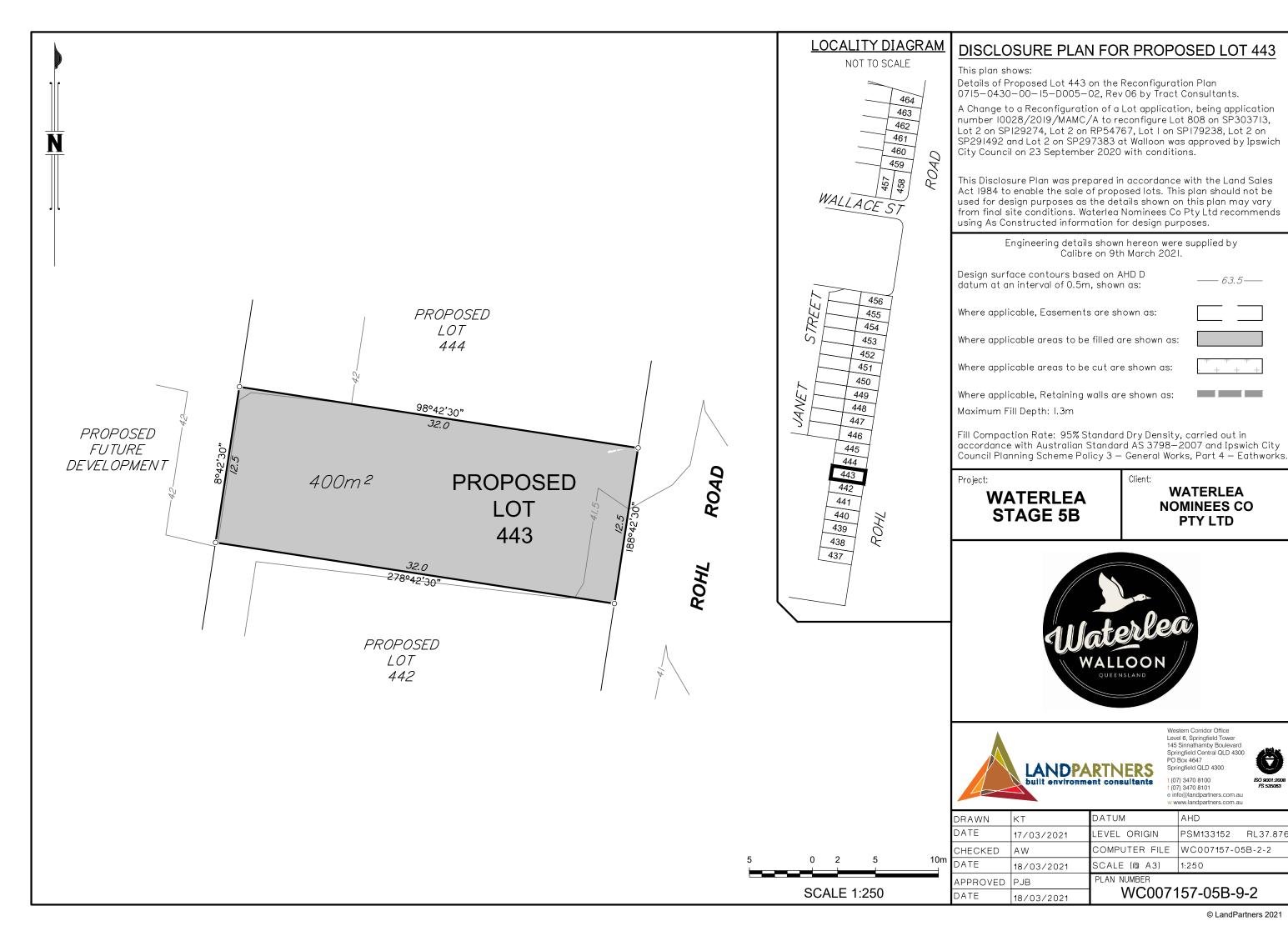


Western Corridor Office Level 6, Springfield Tower 145 Sinnathamby Boulevard Springfield Central QLD 4300 PO Box 4647 Springfield QLD 4300

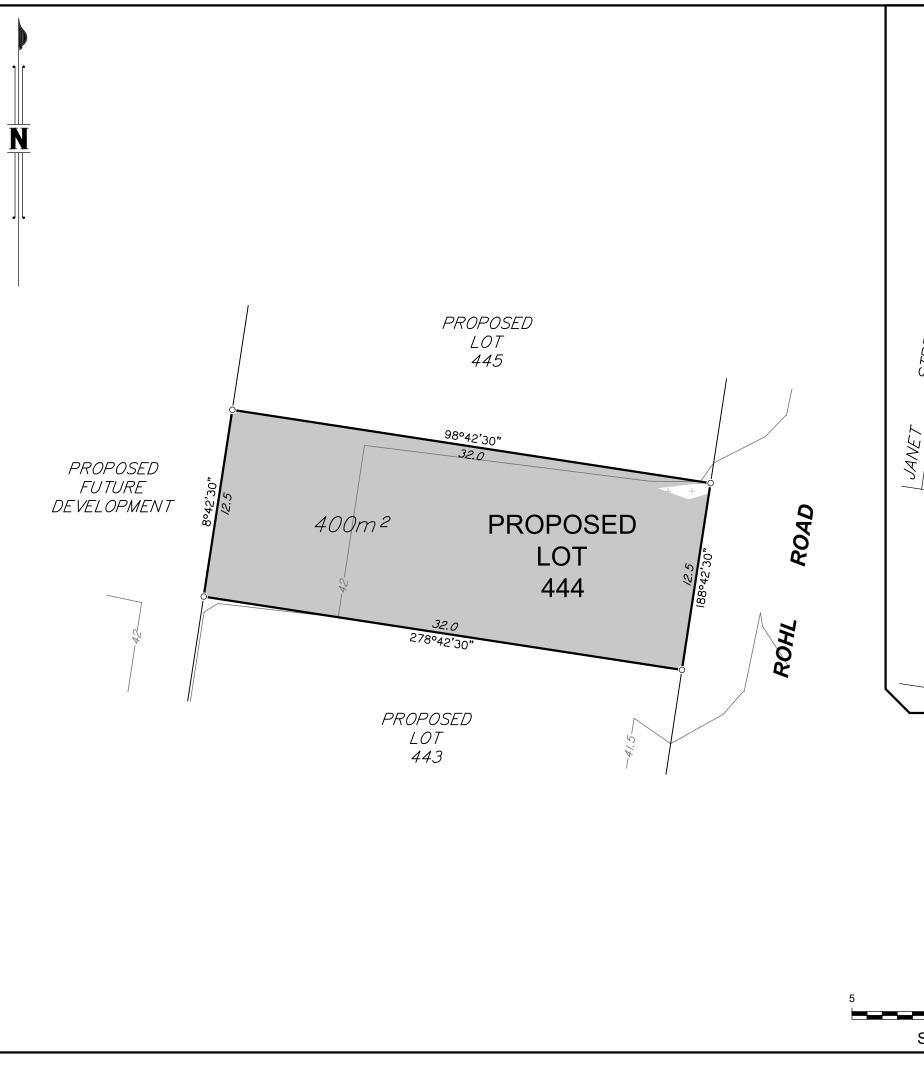
t (07) 3470 8100 f (07) 3470 8101

e info@landpartners.com.au w www.landpartners.com.au AHD

DATUM DRAWN DATE 17/03/2021 LEVEL ORIGIN PSM133152 RL37.876 COMPUTER FILE WC007157-05B-2-2 CHECKED ΑW DATE SCALE (m A3) 1:250 18/03/2021 PLAN NUMBER APPROVED PJB WC007157-05B-8-2 DATE 18/03/2021



— *63.5*——



LOCALITY DIAGRAM DISCLOSURE PLAN FOR PROPOSED LOT 444 NOT TO SCALE

This plan shows:

464

463

462 461

460

459 457

WALLACE ST

456

455

454

453

452 451

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449

448

447

446 445 444

437

Details of Proposed Lot 444 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants.

A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SP129274, Lot 2 on RP54767, Lot 1 on SP179238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions.

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> Engineering details shown hereon were supplied by Calibre on 9th March 2021.

Design surface contours based on AHD D datum at an interval of 0.5m, shown as:

— *63.5*——

Where applicable, Easements are shown as:

Where applicable areas to be filled are shown as:

Where applicable areas to be cut are shown as:

Where applicable, Retaining walls are shown as:

Maximum Fill Depth: 1.2m

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798—2007 and Ipswich City Council Planning Scheme Policy 3 — General Works, Part 4 — Eathworks.

Project:

WATERLEA STAGE 5B

Client:

WATERLEA NOMINEES CO PTY LTD

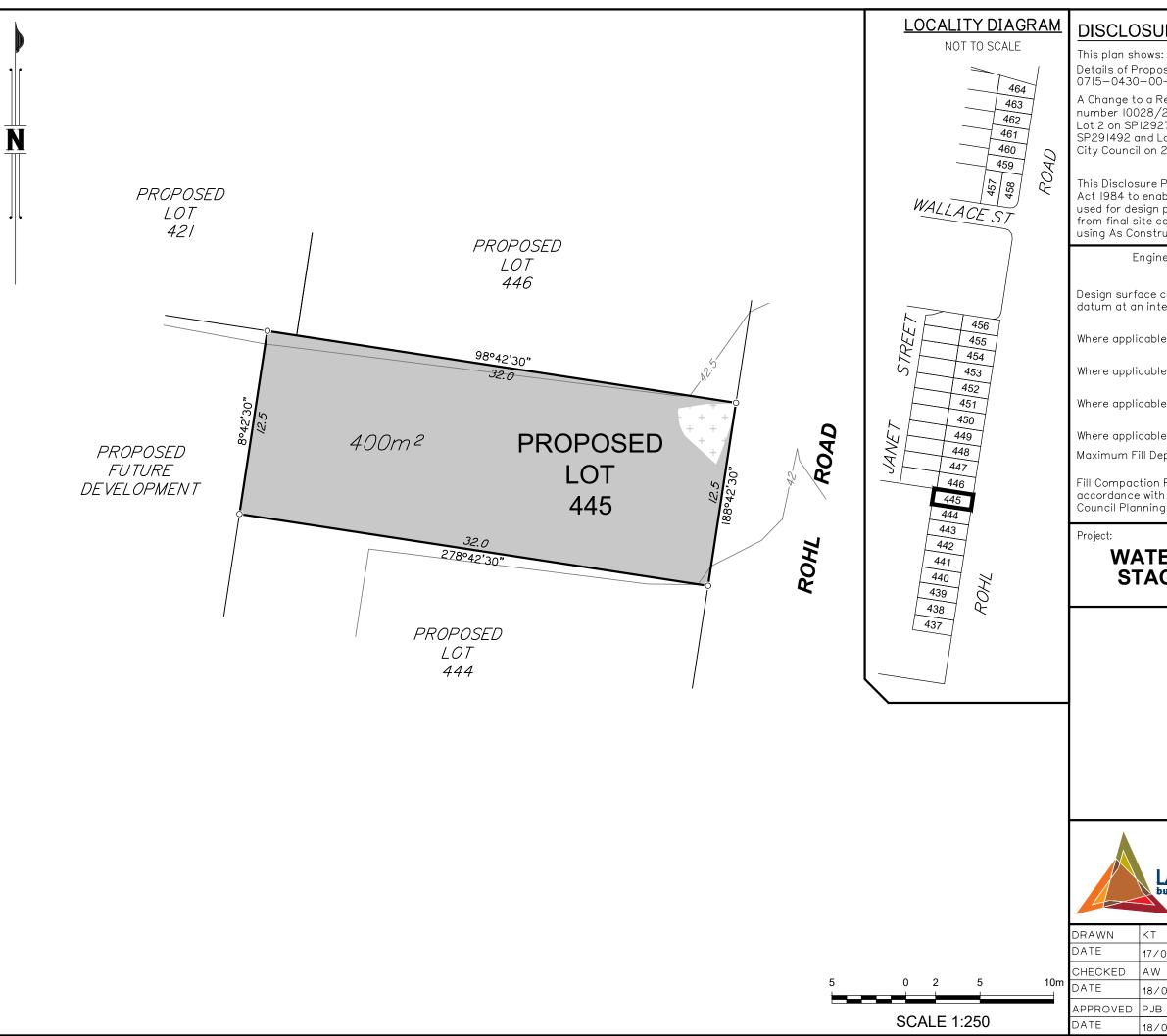




Western Corridor Office Level 6, Springfield Tower 145 Sinnathamby Boulevard Springfield Central QLD 4300 PO Box 4647 Springfield QLD 4300

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PRAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER WC007157-05B-10-2	
DATE	18/03/2021		



Details of Proposed Lot 445 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants.

A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SP129274, Lot 2 on RP54767, Lot 1 on SP179238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions.

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> Engineering details shown hereon were supplied by Calibre on 9th March 2021.

Design surface contours based on AHD D datum at an interval of 0.5m, shown as:

— *63.5* —

Where applicable, Easements are shown as:

Where applicable areas to be filled are shown as:

Where applicable areas to be cut are shown as:

Where applicable, Retaining walls are shown as:

Maximum Fill Depth: I.Om

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798—2007 and Ipswich City Council Planning Scheme Policy 3 — General Works, Part 4 — Eathworks.

WATERLEA STAGE 5B

Client:

WATERLEA NOMINEES CO PTY LTD

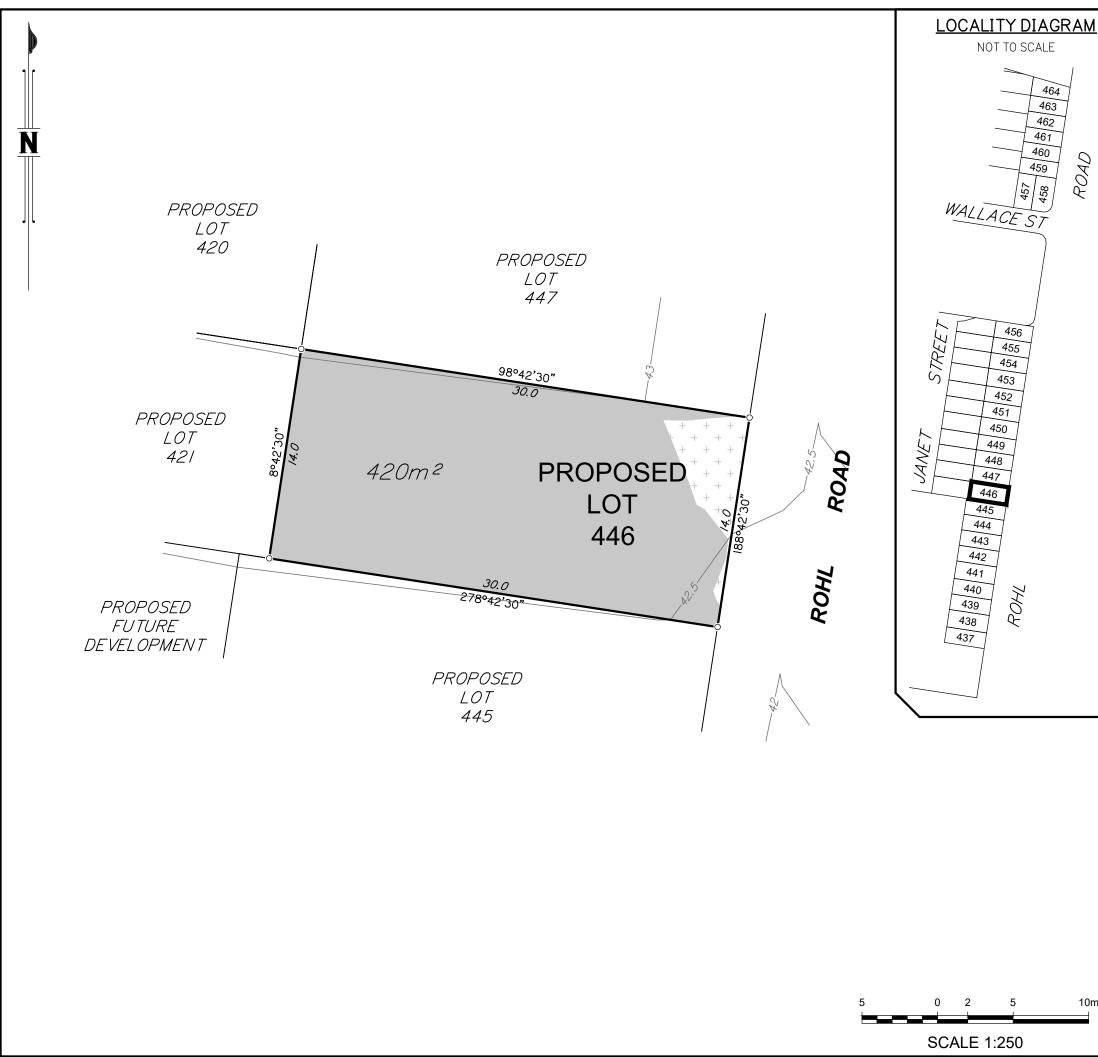




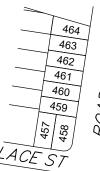
Western Corridor Office Level 6, Springfield Tower 145 Sinnathamby Boulevard Springfield Central QLD 4300 PO Box 4647 Springfield QLD 4300

t (07) 3470 8100 f (07) 3470 8101 e info@landpartners.com.au w www.landpartners.com.au

DRAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER WC007157-05B-11-2	
DATE	18/03/2021		



NOT TO SCALE



WALLACE ST

This plan shows:

Details of Proposed Lot 446 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants.

A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SP129274, Lot 2 on RP54767, Lot 1 on SP179238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions.

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> Engineering details shown hereon were supplied by Calibre on 9th March 2021.

Design surface contours based on AHD D datum at an interval of 0.5m, shown as:

— *63.5*——

Where applicable, Easements are shown as:

Where applicable areas to be filled are shown as:

Where applicable areas to be cut are shown as:

Where applicable, Retaining walls are shown as:

Maximum Fill Depth: I.Om

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798—2007 and Ipswich City Council Planning Scheme Policy 3 — General Works, Part 4 — Eathworks.

Project:

WATERLEA STAGE 5B

Client:

WATERLEA NOMINEES CO PTY LTD





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DRAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER	
DATE	18/03/2021	WC007157-05B-12-2	

LOCALITY DIAGRAM NOT TO SCALE 464 463 462 461 460 459 PROPOSED 457 LOTWALLACE ST 4/9 PROPOSED LOT 448 456 455 30.0 454 **PROPOSED** 453 LOT 452 ROAD 451 420 **PROPOSED** 390m² 450 JANE; 449 LOT 448 447 447 446 445 444 443 442 441 278°42'30 PROPOSED 440 439 438 LOT421 PROPOSED 437 LOT 446 **SCALE 1:250**

DISCLOSURE PLAN FOR PROPOSED LOT 447

This plan shows:

Details of Proposed Lot 447 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants.

A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SP129274, Lot 2 on RP54767, Lot 1 on SP179238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions.

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> Engineering details shown hereon were supplied by Calibre on 9th March 2021.

Design surface contours based on AHD D datum at an interval of 0.5m, shown as:

— *63.5*——

Where applicable, Easements are shown as:

Where applicable areas to be filled are shown as:

Where applicable areas to be cut are shown as:

Where applicable, Retaining walls are shown as:

Maximum Fill Depth: I.Om

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798—2007 and Ipswich City Council Planning Scheme Policy 3 — General Works, Part 4 — Eathworks.

Project:

10m

WATERLEA STAGE 5B

Client:

WATERLEA NOMINEES CO PTY LTD

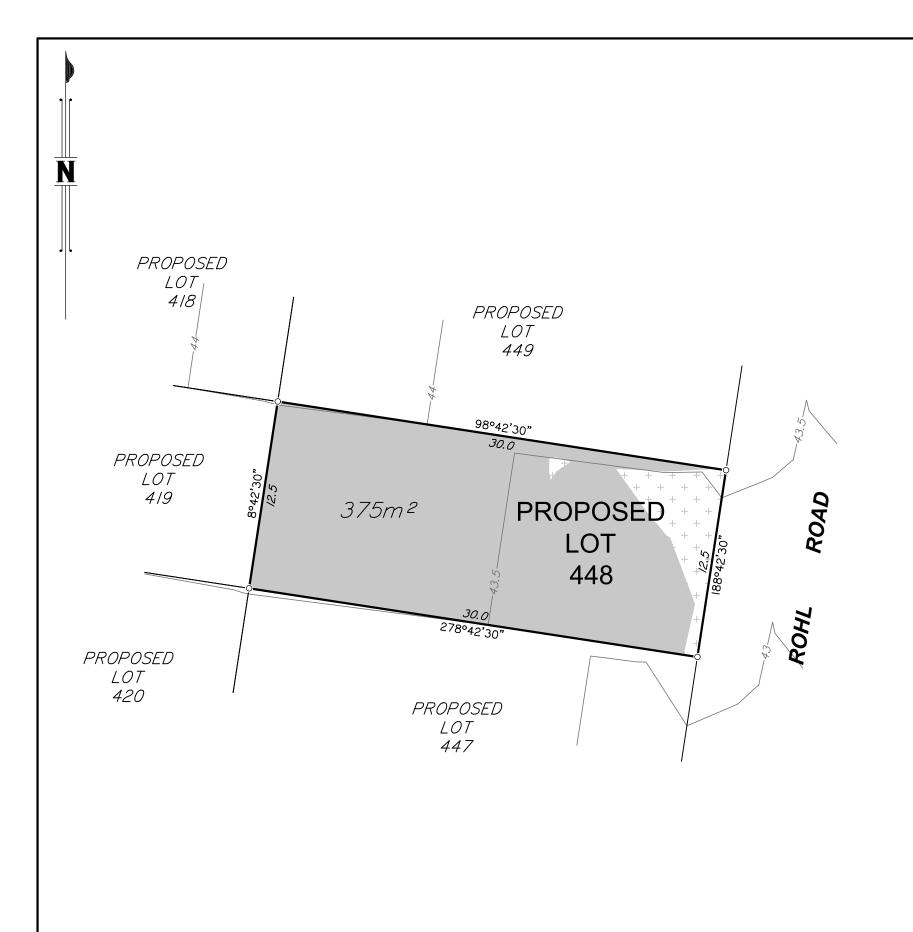


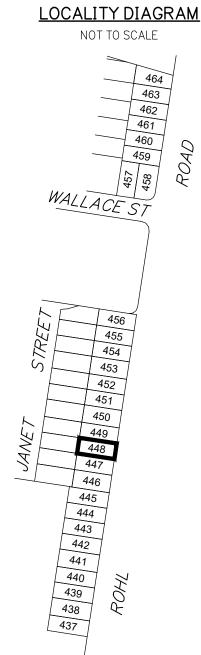


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t (07) 3470 8100 f (07) 3470 8101 e info@landpartners.com.au w www.landpartners.com.au

DRAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER	
DATE	18/03/2021	WC0071	157-05B-13-2





This plan shows:

Details of Proposed Lot 448 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants.

A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SP129274, Lot 2 on RP54767, Lot I on SP179238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions.

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Engineering details shown hereon were supplied by Calibre on 9th March 2021.

Design surface contours based on AHD D datum at an interval of 0.5m, shown as:

—— 63.5—

Where applicable, Easements are shown as:

Where applicable areas to be filled are shown as:

Where applicable areas to be cut are shown as:

+ + +

Where applicable, Retaining walls are shown as:

Maximum Fill Depth: I.Om

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798—2007 and Ipswich City Council Planning Scheme Policy 3 — General Works, Part 4 — Eathworks.

Project:

WATERLEA STAGE 5B Client:

WATERLEA NOMINEES CO PTY LTD





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t (07) 3470 8100 f (07) 3470 8101 e info@landpartners.com.au w www.landpartners.com.au

ISO 9001:2000 FS 535063

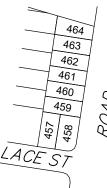
RAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER WC007157-05B-14-2	
DATE	18/03/2021		

5 0 2 5 10m C

PROPOSED LOT 417 **PROPOSED** LOT 450 JANE 98°42'30" PROPOSED LOT4/8 **PROPOSED** 375m2 LOT 449 ROHL **PROPOSED** LOT 419 PROPOSED LOT 448

DISCLOSURE PLAN FOR PROPOSED LOT 449

LOCALITY DIAGRAM NOT TO SCALE



WALLACE ST 456 455 454

440 439 438

437

This plan shows:

Details of Proposed Lot 449 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants.

A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SP129274, Lot 2 on RP54767, Lot 1 on SP179238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions.

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions. Waterlea Nominees Co Pty Ltd recommends using As Constructed information for design purposes.

> Engineering details shown hereon were supplied by Calibre on 9th March 2021.

Design surface contours based on AHD D datum at an interval of 0.5m, shown as:

— *63.5*——

Where applicable, Easements are shown as:

Where applicable areas to be filled are shown as:

Where applicable areas to be cut are shown as:

Where applicable, Retaining walls are shown as: Maximum Fill Depth: 0.9m

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798—2007 and Ipswich City Council Planning Scheme Policy 3 — General Works, Part 4 — Eathworks.

Project:

WATERLEA STAGE 5B

Client:

WATERLEA NOMINEES CO PTY LTD



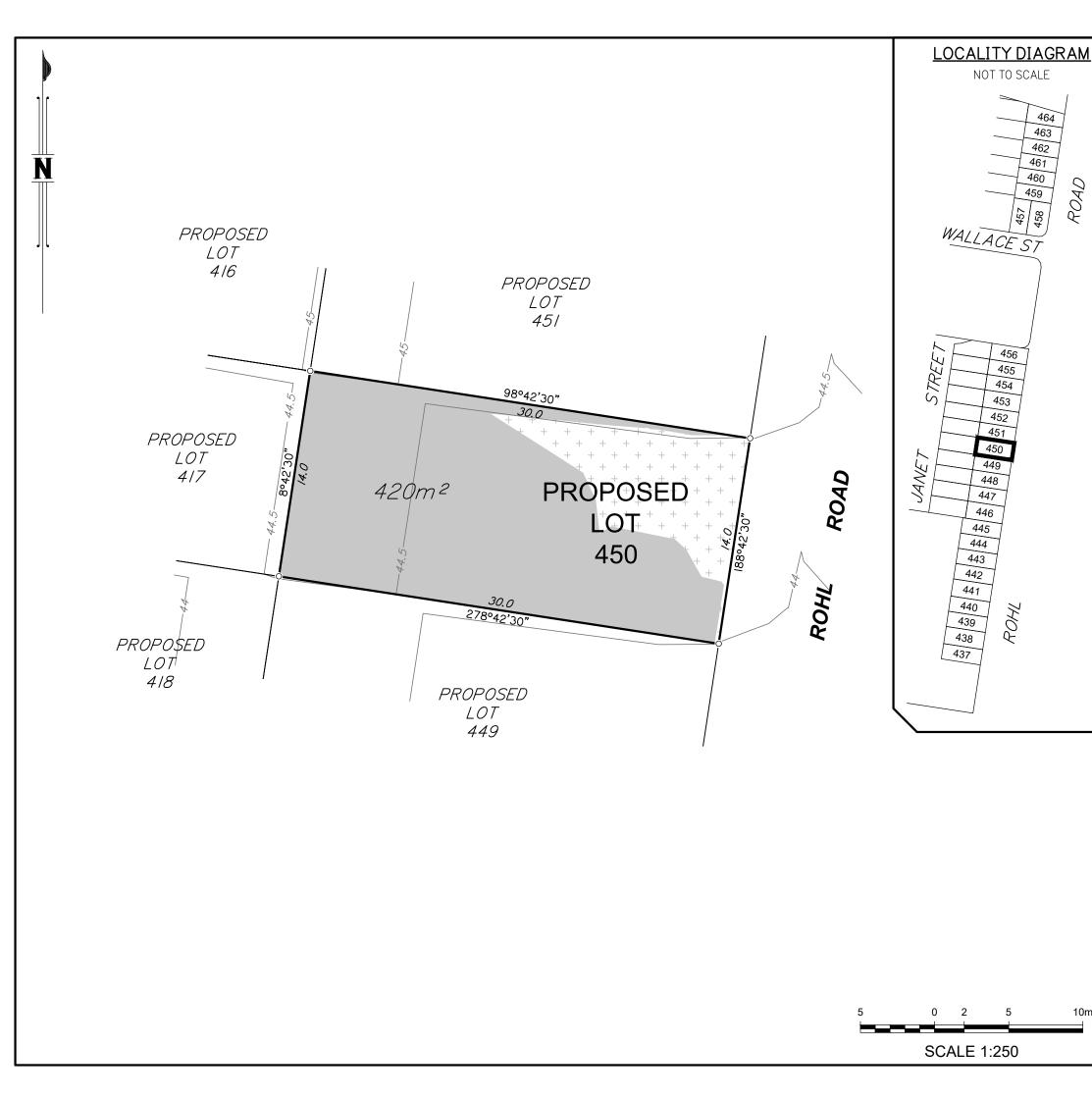


Western Corridor Office Level 6, Springfield Tower 145 Sinnathamby Boulevard Springfield Central QLD 4300 PO Box 4647 Springfield QLD 4300

t (07) 3470 8100 f (07) 3470 8101

e info@landpartners.com.au w www.landpartners.com.au

DRAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER	
DATE	18/03/2021	WC007157-05B-15-2	



This plan shows:

Details of Proposed Lot 450 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants.

A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SP129274, Lot 2 on RP54767, Lot I on SP179238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions.

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions. Waterlea Nominees Co Pty Ltd recommends using As Constructed information for design purposes.

Engineering details shown hereon were supplied by Calibre on 9th March 2021.

Design surface contours based on AHD D datum at an interval of 0.5m, shown as:

—— 63.5—

Where applicable, Easements are shown as:

Where applicable areas to be filled are shown as:

Where applicable areas to be cut are shown as:

+ + + +

Where applicable, Retaining walls are shown as:

Maximum Fill Depth: 0.9m

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798—2007 and Ipswich City Council Planning Scheme Policy 3 — General Works, Part 4 — Eathworks.

Project:

WATERLEA STAGE 5B Client:

WATERLEA NOMINEES CO PTY LTD





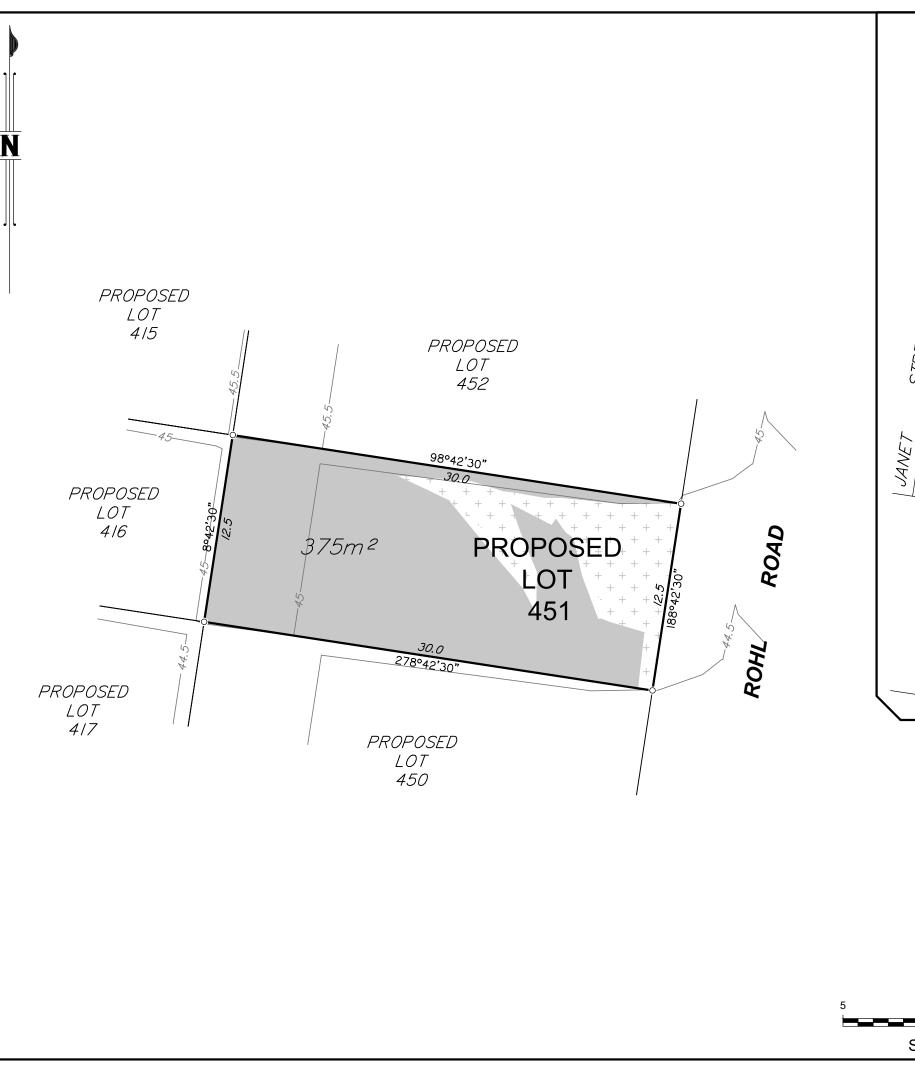
Western Corridor Office Level 6, Springfield Tower 145 Sinnathamby Boulevard Springfield Central QLD 4300 PO Box 4647 Springfield QLD 4300

t (07) 3470 8100 f (07) 3470 8101 e info@landpartners.com.au w www.landpartners.com.au

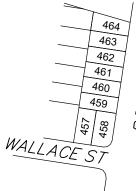
/SO 9001:2008 FS 535063

PRAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER WC007157-05B-16-2	
DATE	18/03/2021		

@ I ID...t. 0004



NOT TO SCALE This plan shows:



450 449

448 447 446

440 439 438

437

LOCALITY DIAGRAM

Details of Proposed Lot 451 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants.

A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SP129274, Lot 2 on RP54767, Lot 1 on SP179238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions.

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions. Waterlea Nominees Co Pty Ltd recommends using As Constructed information for design purposes.

> Engineering details shown hereon were supplied by Calibre on 9th March 2021.

Design surface contours based on AHD D datum at an interval of 0.5m, shown as:

— *63.5* —

Where applicable, Easements are shown as:

Where applicable areas to be filled are shown as:

Where applicable areas to be cut are shown as:

Where applicable, Retaining walls are shown as: Maximum Fill Depth: 0.7m

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798—2007 and Ipswich City Council Planning Scheme Policy 3 — General Works, Part 4 — Eathworks.

Project:

WATERLEA STAGE 5B

Client:

WATERLEA NOMINEES CO PTY LTD



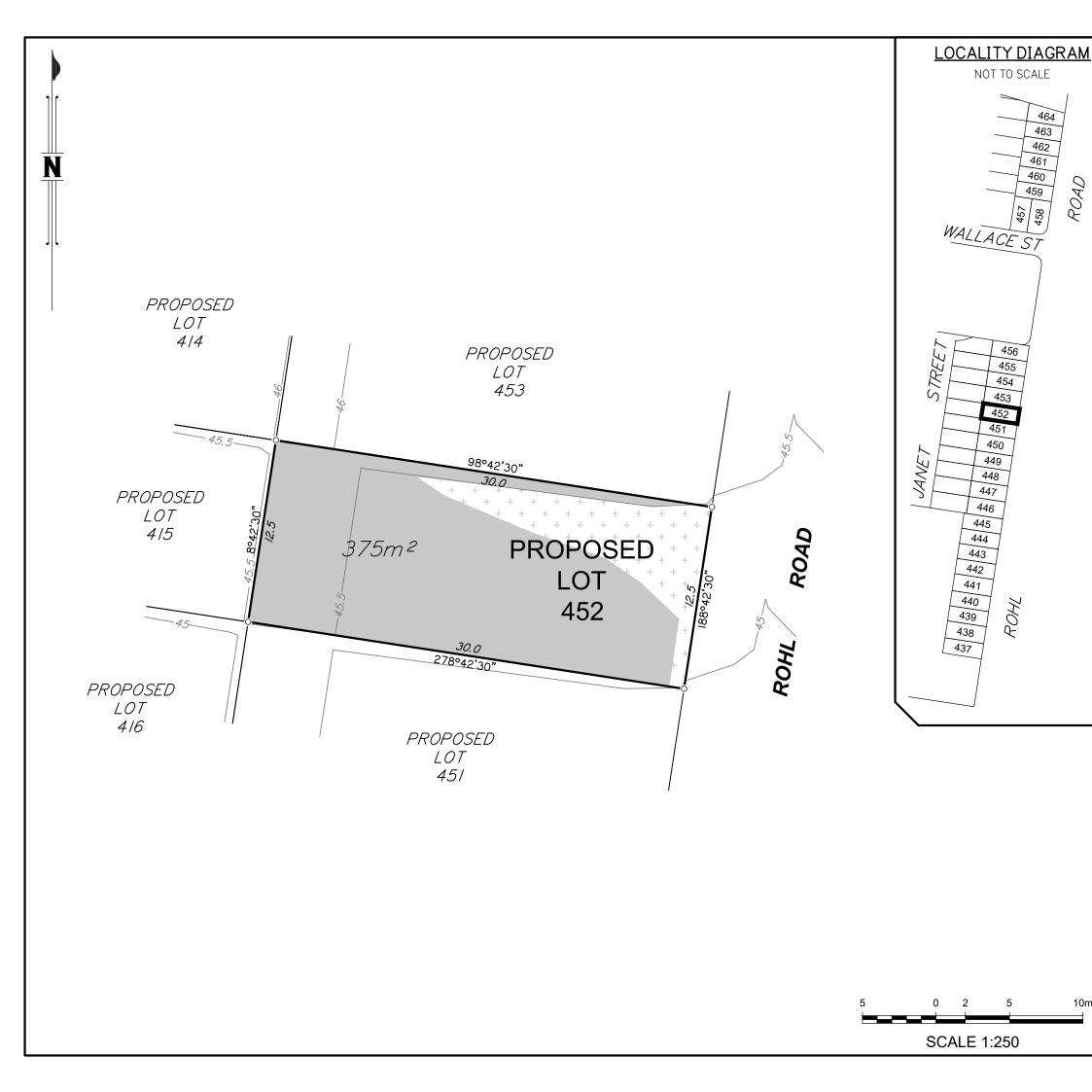


Western Corridor Office Level 6, Springfield Tower 145 Sinnathamby Boulevard Springfield Central QLD 4300 PO Box 4647 Springfield QLD 4300

t (07) 3470 8100 f (07) 3470 8101

e info@landpartners.com.au w www.landpartners.com.au

DRAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER	
DATE	18/03/2021	WC0071	157-05B-17-2



This plan shows:

Details of Proposed Lot 452 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants. A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SP129274, Lot 2 on RP54767, Lot 1 on SP179238, Lot 2 on

SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions. This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary

> Engineering details shown hereon were supplied by Calibre on 9th March 2021.

from final site conditions. Waterlea Nominees Co Pty Ltd recommends

Design surface contours based on AHD D datum at an interval of 0.5m, shown as:

— *63.5*——

Where applicable, Easements are shown as:

Where applicable areas to be filled are shown as:

using As Constructed information for design purposes.

Where applicable areas to be cut are shown as:

Where applicable, Retaining walls are shown as:

Maximum Fill Depth: 0.6m

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798—2007 and Ipswich City Council Planning Scheme Policy 3 — General Works, Part 4 — Eathworks.

Client:

Project:

10m

WATERLEA STAGE 5B

WATERLEA NOMINEES CO

PTY LTD

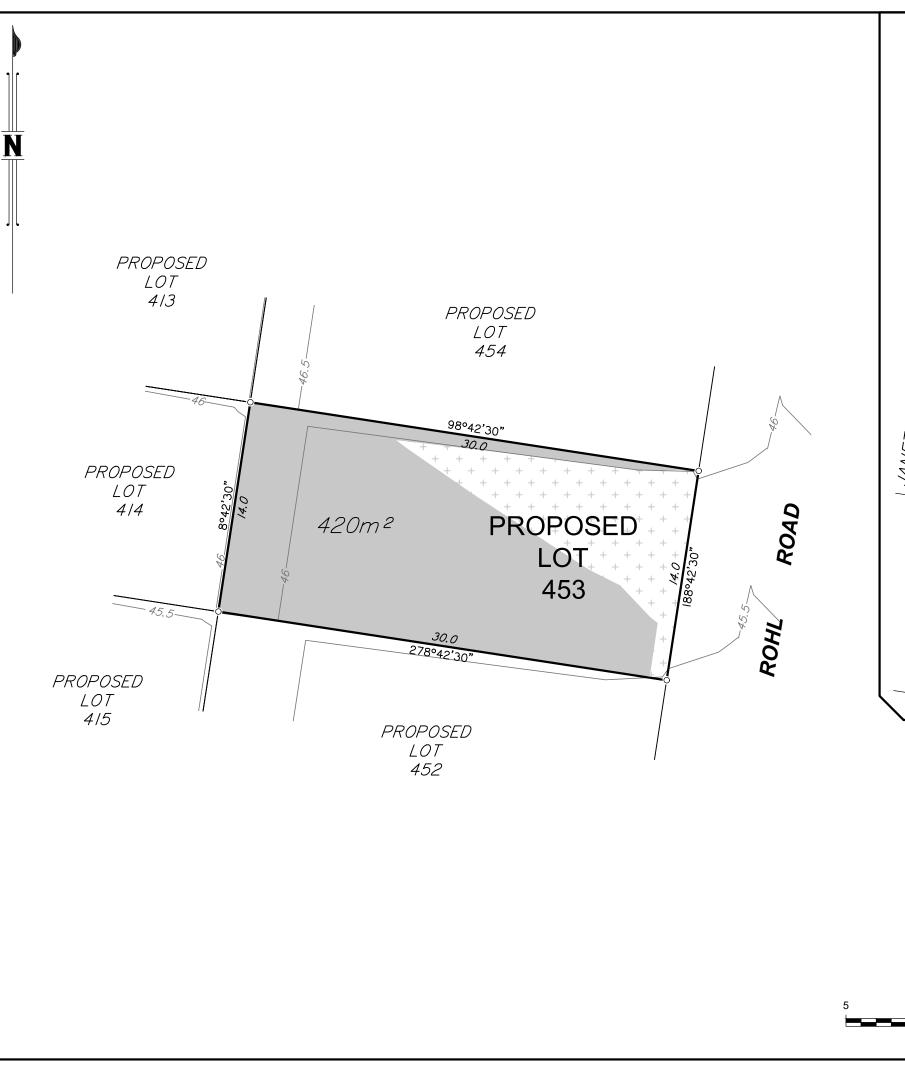




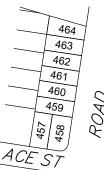
Western Corridor Office Level 6, Springfield Tower 145 Sinnathamby Boulevard Springfield Central QLD 4300 PO Box 4647 Springfield QLD 4300

t (07) 3470 8100 (07) 3470 8101 e info@landpartners.com.au w www.landpartners.com.au

DRAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER WC007157-05B-18-2	
DATE	18/03/2021		



NOT TO SCALE



LOCALITY DIAGRAM

456 455 454

451 450 449

WALLACE ST

448 447 446

440 439 438

437

This plan shows:

Details of Proposed Lot 453 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants.

A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SP129274, Lot 2 on RP54767, Lot 1 on SP179238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions.

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions. Waterlea Nominees Co Pty Ltd recommends using As Constructed information for design purposes.

> Engineering details shown hereon were supplied by Calibre on 9th March 2021.

Design surface contours based on AHD D datum at an interval of 0.5m, shown as:

— *63.5*——

Where applicable, Easements are shown as:

Where applicable areas to be filled are shown as:

Where applicable areas to be cut are shown as:

Where applicable, Retaining walls are shown as: Maximum Fill Depth: 0.6m

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798—2007 and Ipswich City Council Planning Scheme Policy 3 — General Works, Part 4 — Eathworks.

Project:

WATERLEA STAGE 5B

Client:

WATERLEA NOMINEES CO PTY LTD

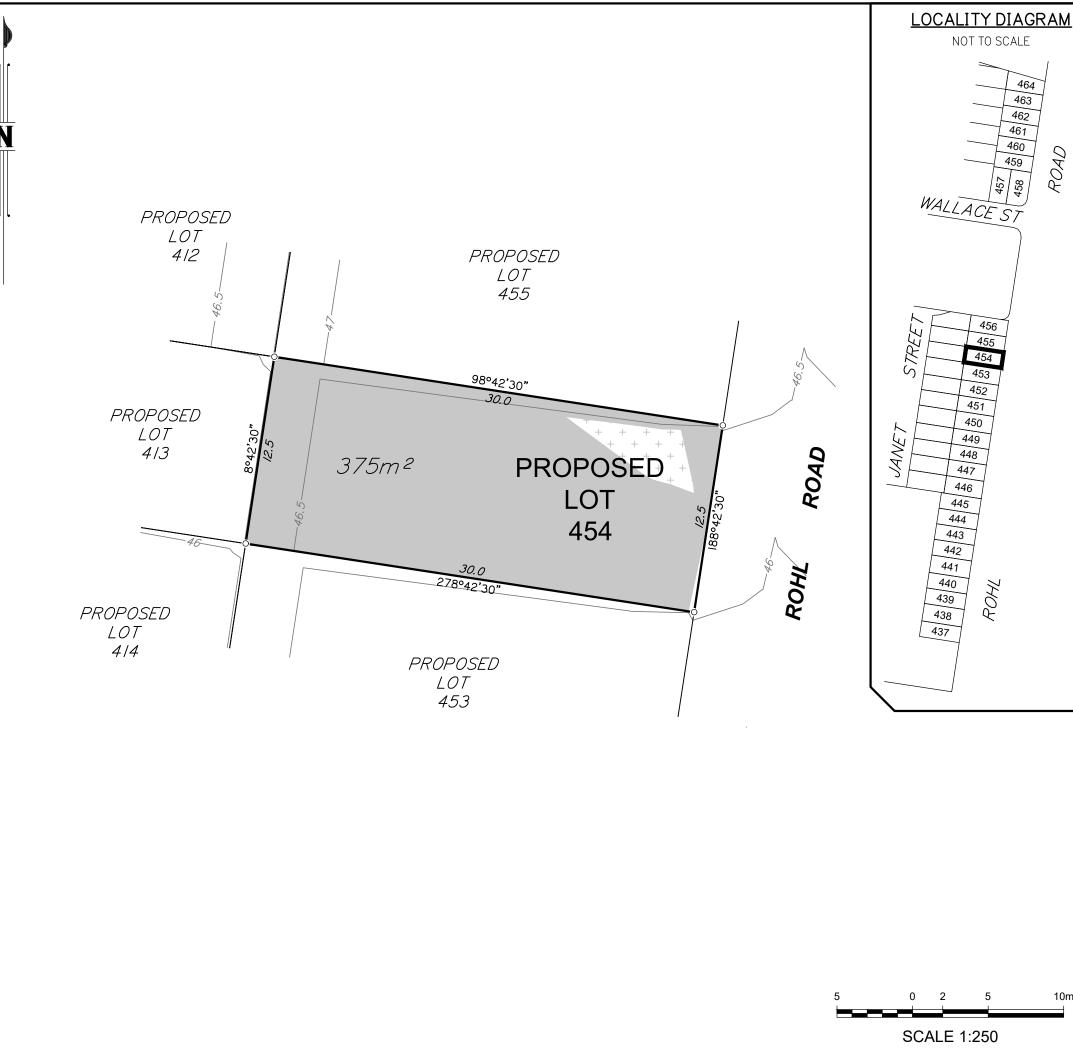




Western Corridor Office Level 6, Springfield Tower 145 Sinnathamby Boulevard Springfield Central QLD 4300 PO Box 4647 Springfield QLD 4300

t (07) 3470 8100 f (07) 3470 8101 e info@landpartners.com.au w www.landpartners.com.au

DRAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER WC007157-05B-19-2	
DATE	18/03/2021		



A Change to a Reconfiguration of a Lot application, being application

number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SP129274, Lot 2 on RP54767, Lot 1 on SP179238, Lot 2 on

SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be

used for design purposes as the details shown on this plan may vary

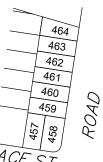
from final site conditions. Waterlea Nominees Co Pty Ltd recommends

Details of Proposed Lot 454 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants.

City Council on 23 September 2020 with conditions.

using As Constructed information for design purposes.

NOT TO SCALE This plan shows:



WALLACE ST

446

Engineering details shown hereon were supplied by Calibre on 9th March 2021. Design surface contours based on AHD D datum at an interval of 0.5m, shown as:

Where applicable, Easements are shown as:

Where applicable areas to be filled are shown as:

Where applicable areas to be cut are shown as:

Where applicable, Retaining walls are shown as:

Maximum Fill Depth: 0.8m

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798—2007 and Ipswich City Council Planning Scheme Policy 3 — General Works, Part 4 — Eathworks.

Client:

Project:

WATERLEA STAGE 5B

WATERLEA NOMINEES CO PTY LTD

— *63.5*——



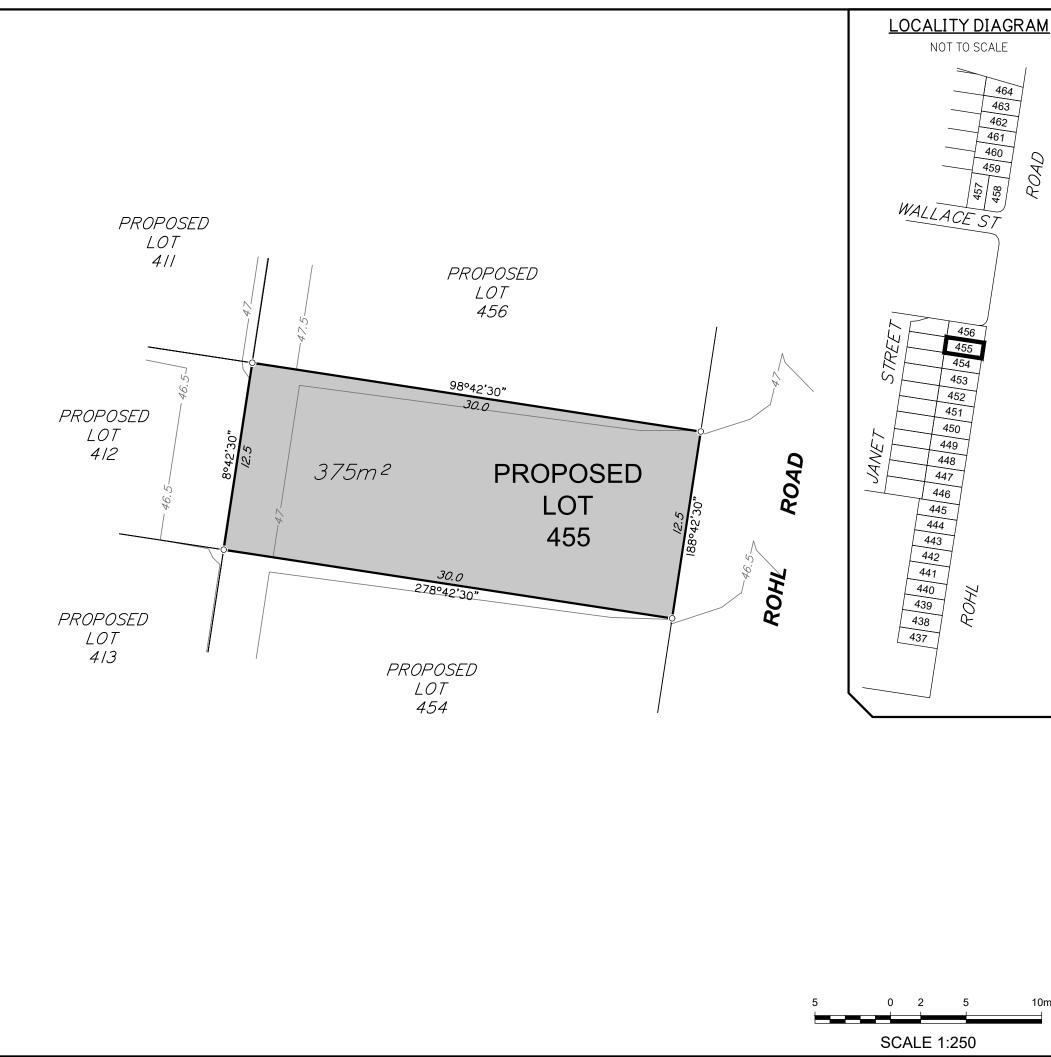


Western Corridor Office Level 6, Springfield Tower 145 Sinnathamby Boulevard Springfield Central QLD 4300 PO Box 4647 Springfield QLD 4300

t (07) 3470 8100 (07) 3470 8101 e info@landpartners.com.au w www.landpartners.com.au

DRAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER WC007157-05B-20-2	
DATE	18/03/2021		

10m



NOT TO SCALE

WALLACE ST

447

446

445 444

This plan shows:

Details of Proposed Lot 455 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants.

A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SP129274, Lot 2 on RP54767, Lot 1 on SP179238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions.

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions. Waterlea Nominees Co Pty Ltd recommends using As Constructed information for design purposes.

> Engineering details shown hereon were supplied by Calibre on 9th March 2021.

Design surface contours based on AHD D datum at an interval of 0.5m, shown as:

— *63.5*——

Where applicable, Easements are shown as:

Where applicable areas to be filled are shown as:



Where applicable areas to be cut are shown as:



Where applicable, Retaining walls are shown as:

Maximum Fill Depth: 0.9m

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798—2007 and Ipswich City Council Planning Scheme Policy 3 — General Works, Part 4 — Eathworks.

Project:

WATERLEA STAGE 5B

Client:

WATERLEA NOMINEES CO PTY LTD

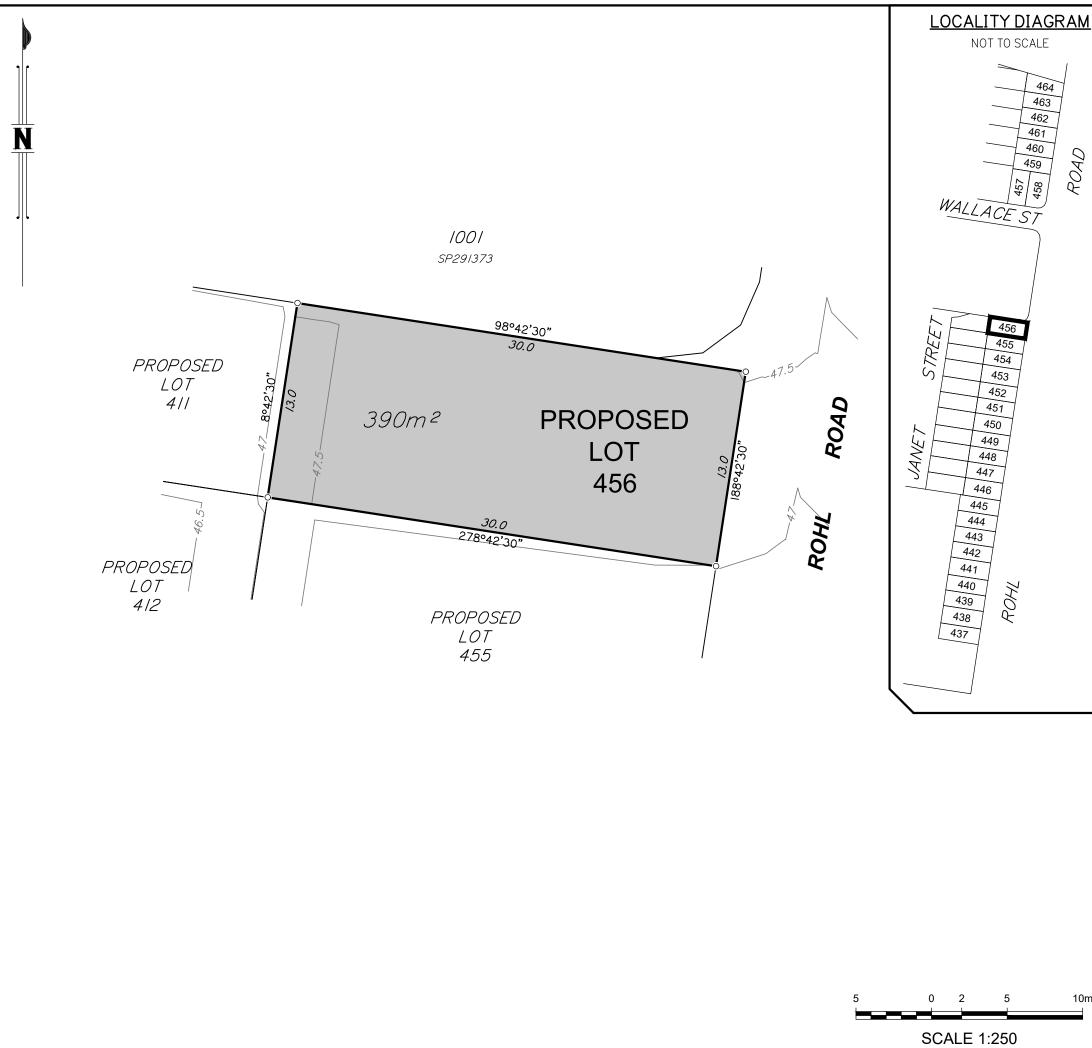




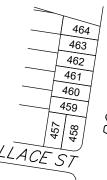
Western Corridor Office Level 6, Springfield Tower 145 Sinnathamby Boulevard Springfield Central QLD 4300 PO Box 4647 Springfield QLD 4300

t (07) 3470 8100 (07) 3470 8101 e info@landpartners.com.au w www.landpartners.com.au

RAWN	KT	DATUM	AHD
ATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
HECKED	AW	COMPUTER FILE	WC007157-05B-2-2
ATE	18/03/2021	SCALE (@ A3)	1:250
PPROVED	PJB	PLAN NUMBER WC007157-05B-21-2	
ATE	18/03/2021		



NOT TO SCALE



WALLACE ST

446

This plan shows:

Details of Proposed Lot 456 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants.

A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SP129274, Lot 2 on RP54767, Lot 1 on SP179238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions.

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions. Waterlea Nominees Co Pty Ltd recommends using As Constructed information for design purposes.

> Engineering details shown hereon were supplied by Calibre on 9th March 2021.

Design surface contours based on AHD D datum at an interval of 0.5m, shown as:

— *63.5*——

Where applicable, Easements are shown as:

Where applicable areas to be filled are shown as:

Where applicable areas to be cut are shown as:

Where applicable, Retaining walls are shown as:

Maximum Fill Depth: 0.9m

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798—2007 and Ipswich City Council Planning Scheme Policy 3 — General Works, Part 4 — Eathworks.

Project:

WATERLEA STAGE 5B

Client:

WATERLEA NOMINEES CO PTY LTD



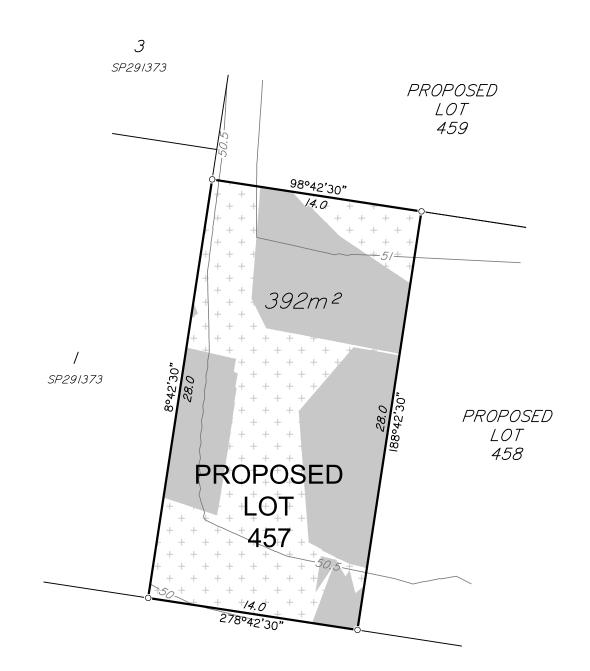


Western Corridor Office Level 6, Springfield Tower 145 Sinnathamby Boulevard Springfield Central QLD 4300 PO Box 4647 Springfield QLD 4300

t (07) 3470 8100 f (07) 3470 8101 e info@landpartners.com.au w www.landpartners.com.au

DRAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER WC007157-05B-22-2	
DATE	18/03/2021		

10m



WALLACE STREET

LOCALITY DIAGRAM NOT TO SCALE 464 463 462 461 460 459 456 455 454 453 452 451 450 JANE. 449 448 447 446 445 444 443 442 441

440 439 438

437

DISCLOSURE PLAN FOR PROPOSED LOT 457

This plan shows:

Details of Proposed Lot 457 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants.

A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SP129274, Lot 2 on RP54767, Lot I on SP179238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions.

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions. Waterlea Nominees Co Pty Ltd recommends using As Constructed information for design purposes.

Engineering details shown hereon were supplied by Calibre on 9th March 2021.

Design surface contours based on AHD D datum at an interval of 0.5m, shown as:

—— *63.5*——

Where applicable, Easements are shown as:

Where applicable areas to be filled are shown as:

Where applicable areas to be cut are shown as:

+ + + +

Where applicable, Retaining walls are shown as:

Maximum Fill Depth: 0.lm

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798—2007 and Ipswich City Council Planning Scheme Policy 3 — General Works, Part 4 — Eathworks.

Project:

WATERLEA STAGE 5B Client:

WATERLEA NOMINEES CO PTY LTD





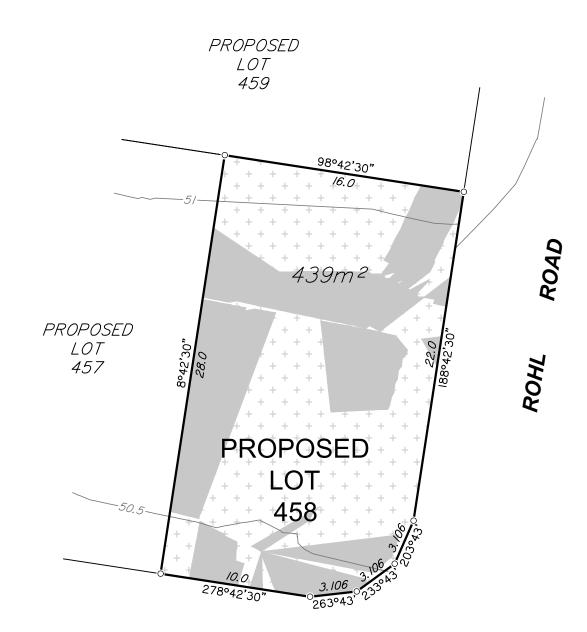
Western Corridor Office Level 6, Springfield Tower 145 Sinnathamby Boulevard Springfield Central QLD 4300 PO Box 4647 Springfield QLD 4300

t (07) 3470 8100 f (07) 3470 8101 e info@landpartners.com.au w www.landpartners.com.au

/SO 9001:2008 FS 535063

PRAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER WC007157-05B-23-2	
DATE	18/03/2021		

5 0 2 5 10m (



WALLACE STREET

DISCLOSURE PLAN FOR PROPOSED LOT 458

This plan shows:

Details of Proposed Lot 458 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants.

A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SP129274, Lot 2 on RP54767, Lot I on SP179238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions.

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions. Waterlea Nominees Co Pty Ltd recommends using As Constructed information for design purposes.

Engineering details shown hereon were supplied by Calibre on 9th March 2021.

Design surface contours based on AHD D datum at an interval of 0.5m, shown as:

—— *63.5*——

Where applicable, Easements are shown as:

Where applicable areas to be filled are shown as:

Where applicable areas to be cut are shown as:

+ + +

Where applicable, Retaining walls are shown as:

Maximum Fill Depth: 0.05m

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798—2007 and Ipswich City Council Planning Scheme Policy 3 — General Works, Part 4 — Eathworks.

Project:

WATERLEA STAGE 5B Client:

WATERLEA NOMINEES CO PTY LTD





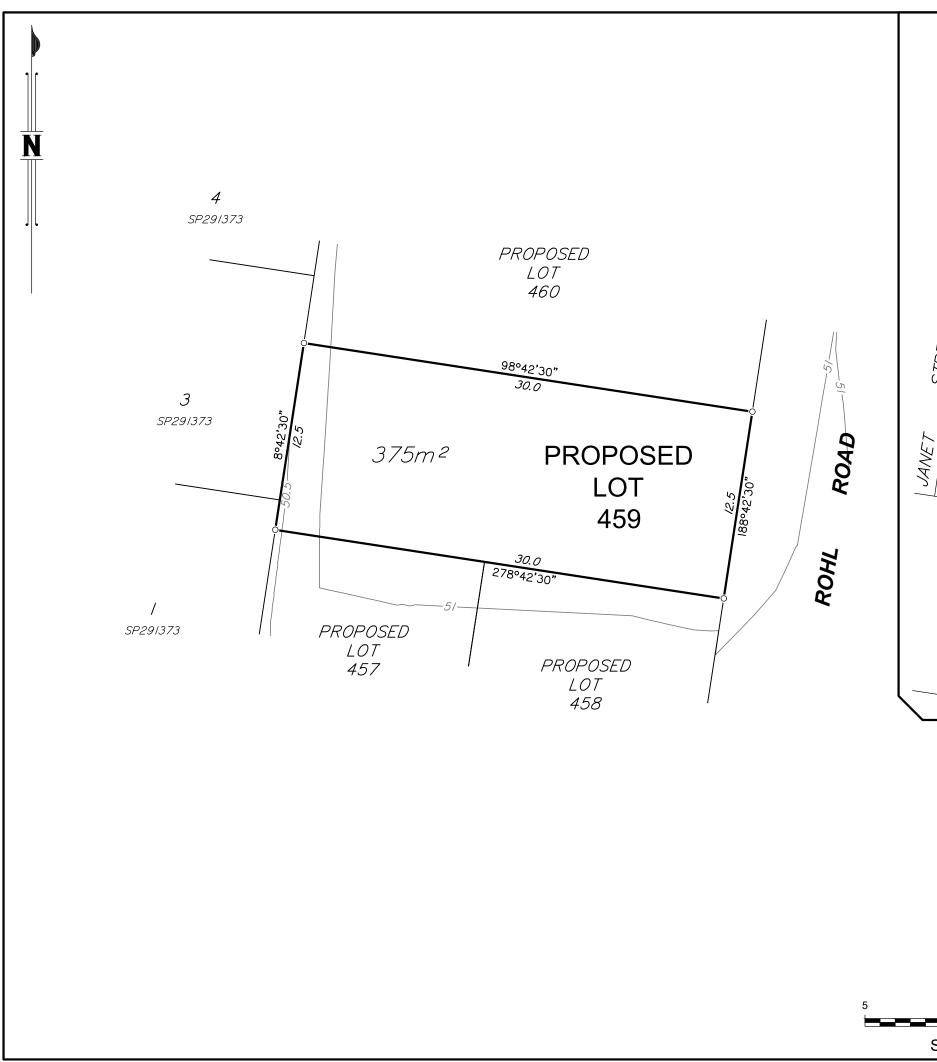
Western Corridor Office Level 6, Springfield Tower 145 Sinnathamby Boulevard Springfield Central OLD 4300 PO Box 4647 Springfield OLD 4300

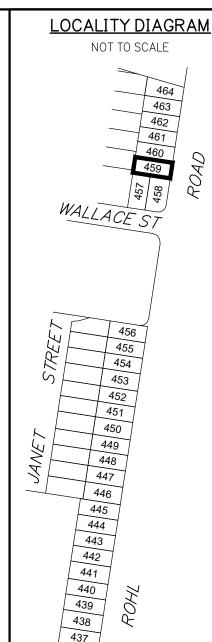
t (07) 3470 8100 f (07) 3470 8101 e info@landpartners.com.au w www.landpartners.com.au

ISO 9001:2008 FS 535063

DRAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER	
DATE	18/03/2021	WC007157-05B-24-2	

5 0 2 5 10m SCALE 1:250





This plan shows:

Details of Proposed Lot 459 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants.

A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SP129274, Lot 2 on RP54767, Lot I on SP179238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions.

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions. Waterlea Nominees Co Pty Ltd recommends using As Constructed information for design purposes.

Engineering details shown hereon were supplied by Calibre on 9th March 2021.

Design surface contours based on AHD D datum at an interval of 0.5m, shown as:

—— *63.5*——

Where applicable, Easements are shown as:

Where applicable areas to be filled are shown as:

as:

Where applicable areas to be cut are shown as:

+ + +

Where applicable, Retaining walls are shown as:

Maximum Fill Depth: N/A

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798—2007 and Ipswich City Council Planning Scheme Policy 3 — General Works, Part 4 — Eathworks.

Project:

WATERLEA STAGE 5B Client:

WATERLEA NOMINEES CO PTY LTD





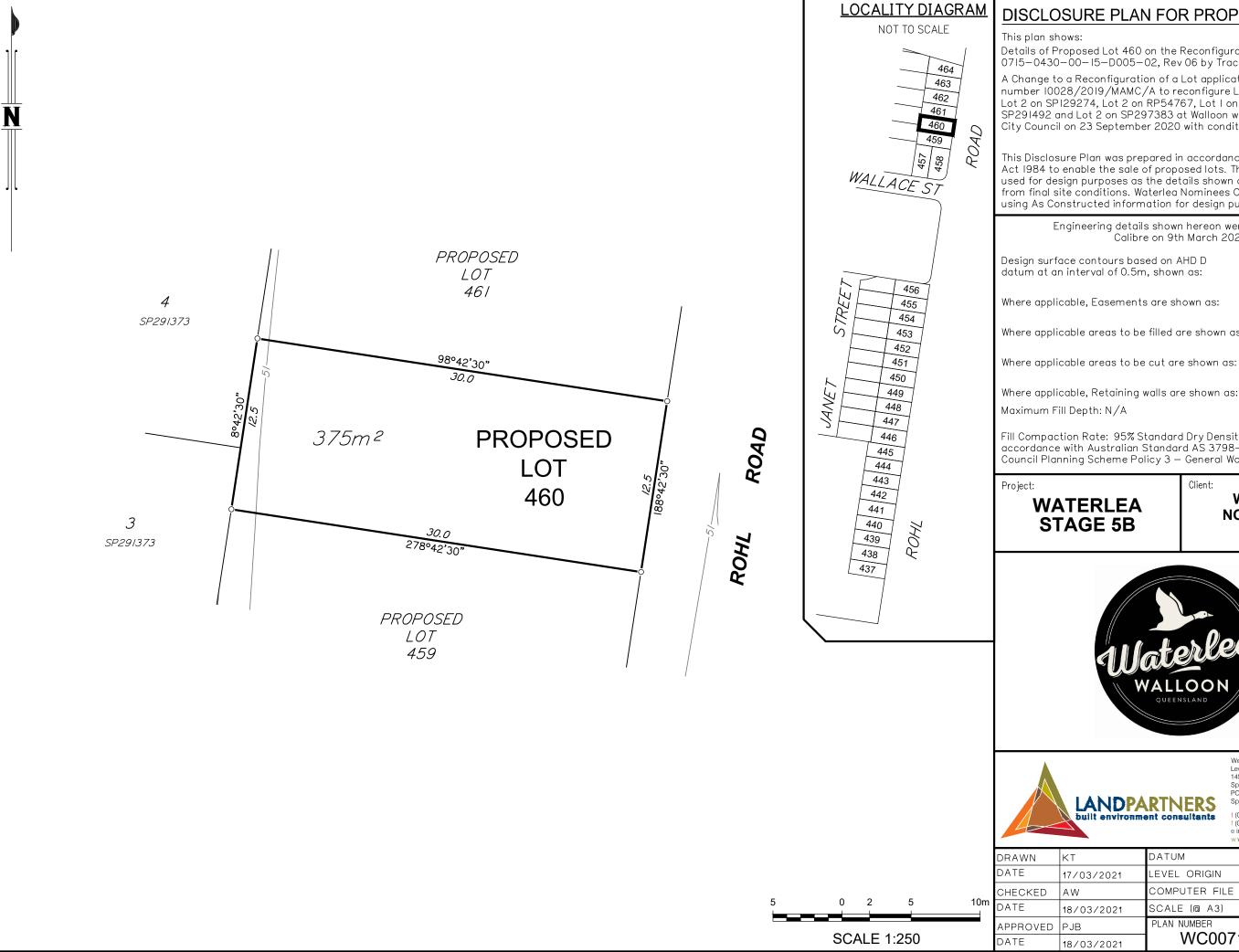
Western Corridor Office Level 6, Springfield Tower 145 Sinnathamby Boulevard Springfield Central QLD 4300 PO Box 4647 Springfield QLD 4300

t (07) 3470 8100 f (07) 3470 8101 e info@landpartners.com.au w www.landpartners.com.au

ISO 9001:2008 FS 535063

DRAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER WC007157-05B-25-2	
DATE	18/03/2021		

5 0 2 5 10m SCALE 1:250



Details of Proposed Lot 460 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants.

A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SP129274, Lot 2 on RP54767, Lot 1 on SP179238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions.

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions. Waterlea Nominees Co Pty Ltd recommends using As Constructed information for design purposes.

> Engineering details shown hereon were supplied by Calibre on 9th March 2021.

— *63.5*——

Where applicable, Easements are shown as:

Where applicable areas to be filled are shown as:

Where applicable, Retaining walls are shown as:

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798—2007 and Ipswich City Council Planning Scheme Policy 3 — General Works, Part 4 — Eathworks.

WATERLEA NOMINEES CO PTY LTD

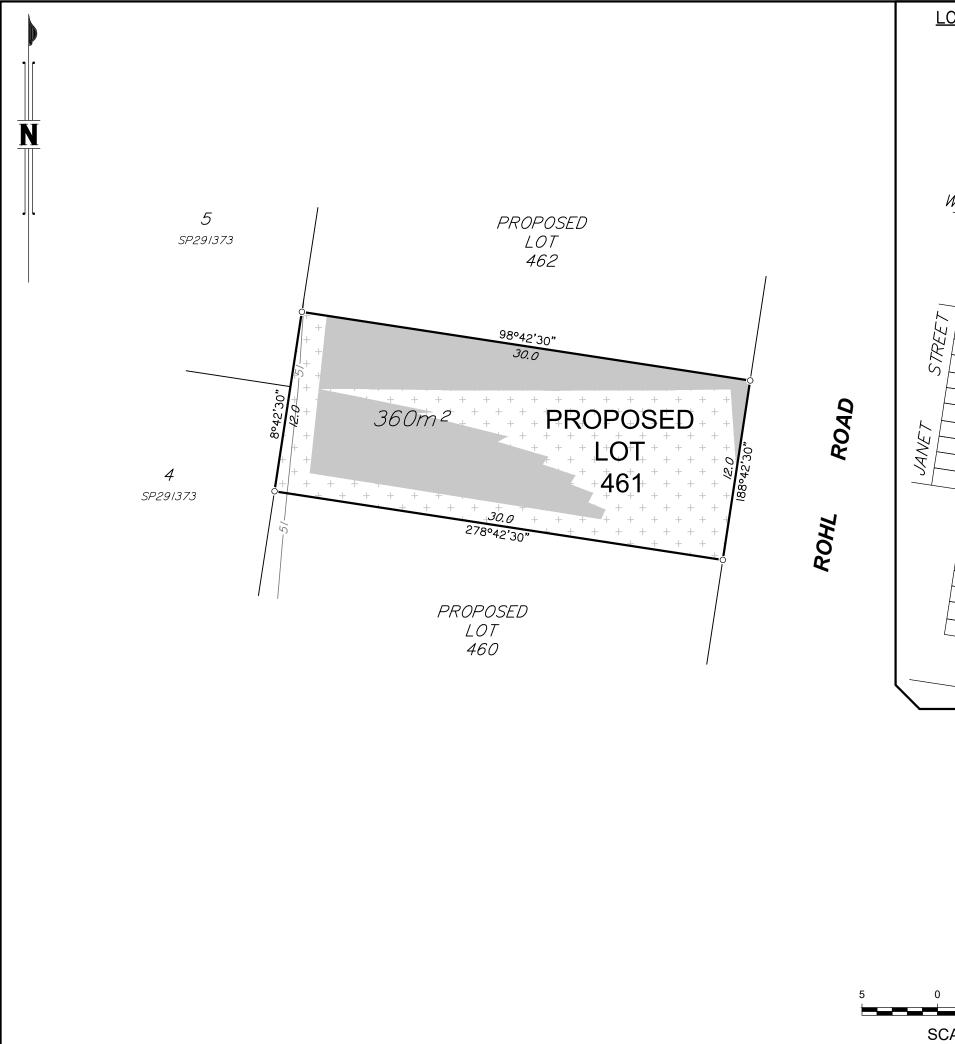


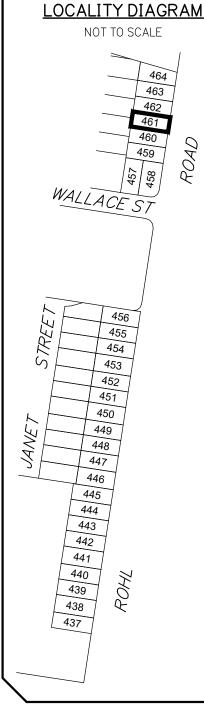


Western Corridor Office Level 6, Springfield Tower 145 Sinnathamby Boulevard Springfield Central QLD 4300 PO Box 4647 Springfield QLD 4300

t (07) 3470 8100 f (07) 3470 8101 e info@landpartners.com.au w www.landpartners.com.au

DATE	18/03/2021	WC007157-05B-26-2	
APPROVED	PJB	PLAN NUMBER	
DATE	18/03/2021	SCALE (@ A3)	1:250
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
DRAWN	KT	DATUM	AHD





This plan shows:

Details of Proposed Lot 461 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants.

A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SP129274, Lot 2 on RP54767, Lot 1 on SP179238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions.

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions. Waterlea Nominees Co Pty Ltd recommends using As Constructed information for design purposes.

> Engineering details shown hereon were supplied by Calibre on 9th March 2021.

Design surface contours based on AHD D datum at an interval of 0.5m, shown as:

— *63.5*——

Where applicable, Easements are shown as:

Where applicable areas to be filled are shown as:

Where applicable areas to be cut are shown as:

Where applicable, Retaining walls are shown as:

Maximum Fill Depth: 0.02m

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798—2007 and Ipswich City Council Planning Scheme Policy 3 — General Works, Part 4 — Eathworks.

Project:

WATERLEA STAGE 5B

Client:

WATERLEA NOMINEES CO PTY LTD





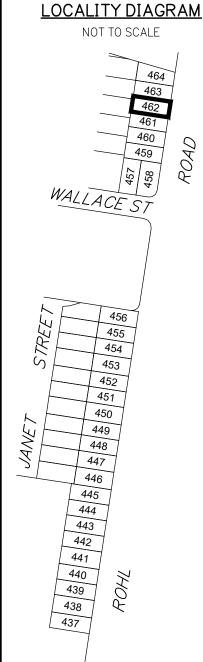
18/03/2021

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DRAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER WC007157-05B-27-2	
DATE	18/03/2021		

6 **PROPOSED** SP291373 LOT 463 98°42′30" 30.0 **PROPOSED** 375m² 5 LOT SP291373 462 278°42'30 SP291373 **PROPOSED** LOT 461



DISCLOSURE PLAN FOR PROPOSED LOT 462

This plan shows:

Details of Proposed Lot 462 on the Reconfiguration Plan 0715—0430—00—15—D005—02, Rev 06 by Tract Consultants.

A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SP129274, Lot 2 on RP54767, Lot I on SP179238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions.

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Engineering details shown hereon were supplied by Calibre on 9th March 2021.

Design surface contours based on AHD D datum at an interval of 0.5m, shown as:

—— 63.5—

Where applicable, Easements are shown as:

Where applicable areas to be filled are shown as:

Where applicable areas to be cut are shown as:

+ + +

Where applicable, Retaining walls are shown as:

Maximum Fill Depth: 0.lm

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798—2007 and Ipswich City Council Planning Scheme Policy 3 — General Works, Part 4 — Eathworks.

Project:

WATERLEA STAGE 5B Client:

WATERLEA NOMINEES CO PTY LTD



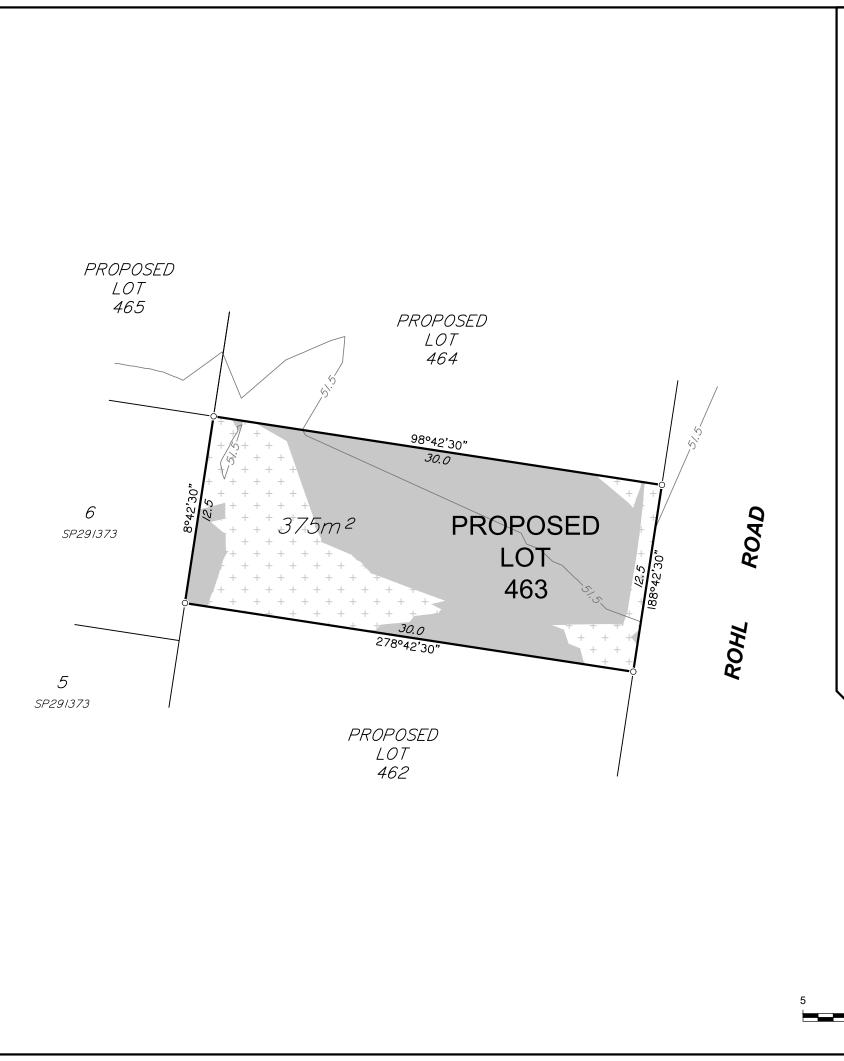


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ISO 9001:200 FS 535063

PRAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER WC007157-05B-28-2	
DATE	18/03/2021		



NOT TO SCALE

This plan shows:

461

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WALLACE ST

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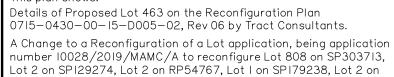
440 439 438

437

JANE.

458

LOCALITY DIAGRAM



City Council on 23 September 2020 with conditions.

using As Constructed information for design purposes.

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions. Waterlea Nominees Co Pty Ltd recommends

SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich

Engineering details shown hereon were supplied by Calibre on 9th March 2021.

Design surface contours based on AHD D datum at an interval of 0.5m, shown as:

— 63.5 —

Where applicable, Easements are shown as:

Where applicable areas to be filled are shown as:

Where applicable areas to be cut are shown as:

+ + +

Where applicable, Retaining walls are shown as:

Maximum Fill Depth: 0.lm

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798—2007 and Ipswich City Council Planning Scheme Policy 3 — General Works, Part 4 — Eathworks.

Project:

WATERLEA STAGE 5B Client:

WATERLEA NOMINEES CO PTY LTD



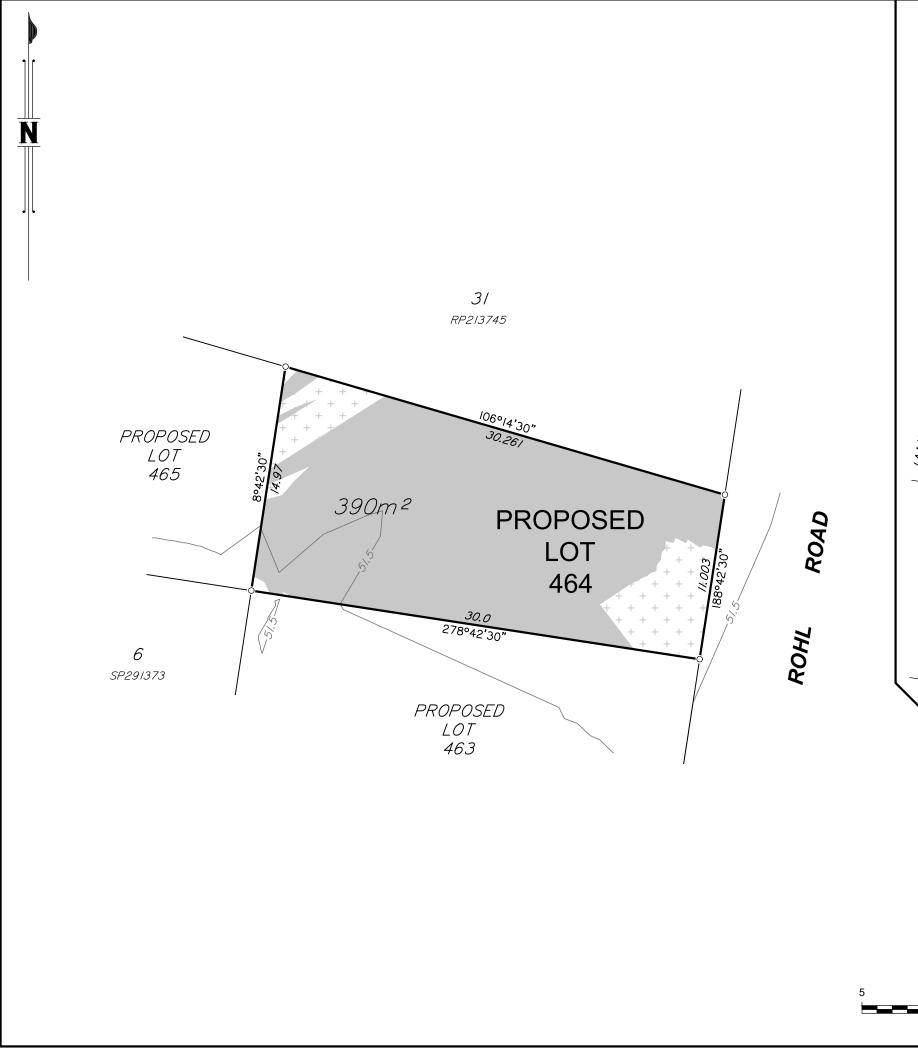


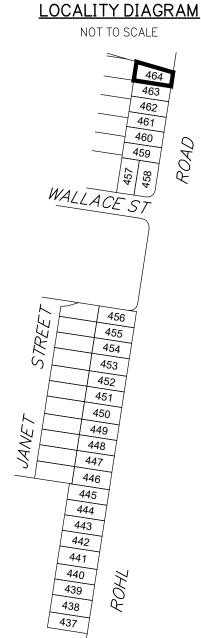
Western Corridor Office Level 6, Springfield Tower 145 Sinnathamby Boulevard Springfield Central QLD 4300 PO Box 4647 Springfield QLD 4300

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ISO 9001:200 FS 535063

PRAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER WC007157-05B-29-2	
DATE	18/03/2021		





This plan shows:

Details of Proposed Lot 464 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants.

A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SP129274, Lot 2 on RP54767, Lot I on SP179238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions.

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Engineering details shown hereon were supplied by Calibre on 9th March 2021.

Design surface contours based on AHD D datum at an interval of 0.5m, shown as:

—— *63.5*——

Where applicable, Easements are shown as:

Where applicable areas to be filled are shown as:

Where applicable areas to be cut are shown as:

- + + +

Where applicable, Retaining walls are shown as:

Maximum Fill Depth: 0.lm

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798—2007 and Ipswich City Council Planning Scheme Policy 3 — General Works, Part 4 — Eathworks.

Project:

WATERLEA STAGE 5B Client:

WATERLEA NOMINEES CO PTY LTD





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ISO 9001:2000 FS 535063

DRAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER WC007157-05B-30-2	
DATE	18/03/2021		