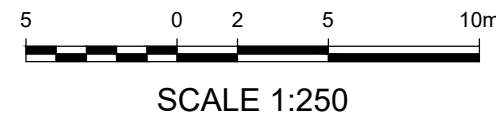
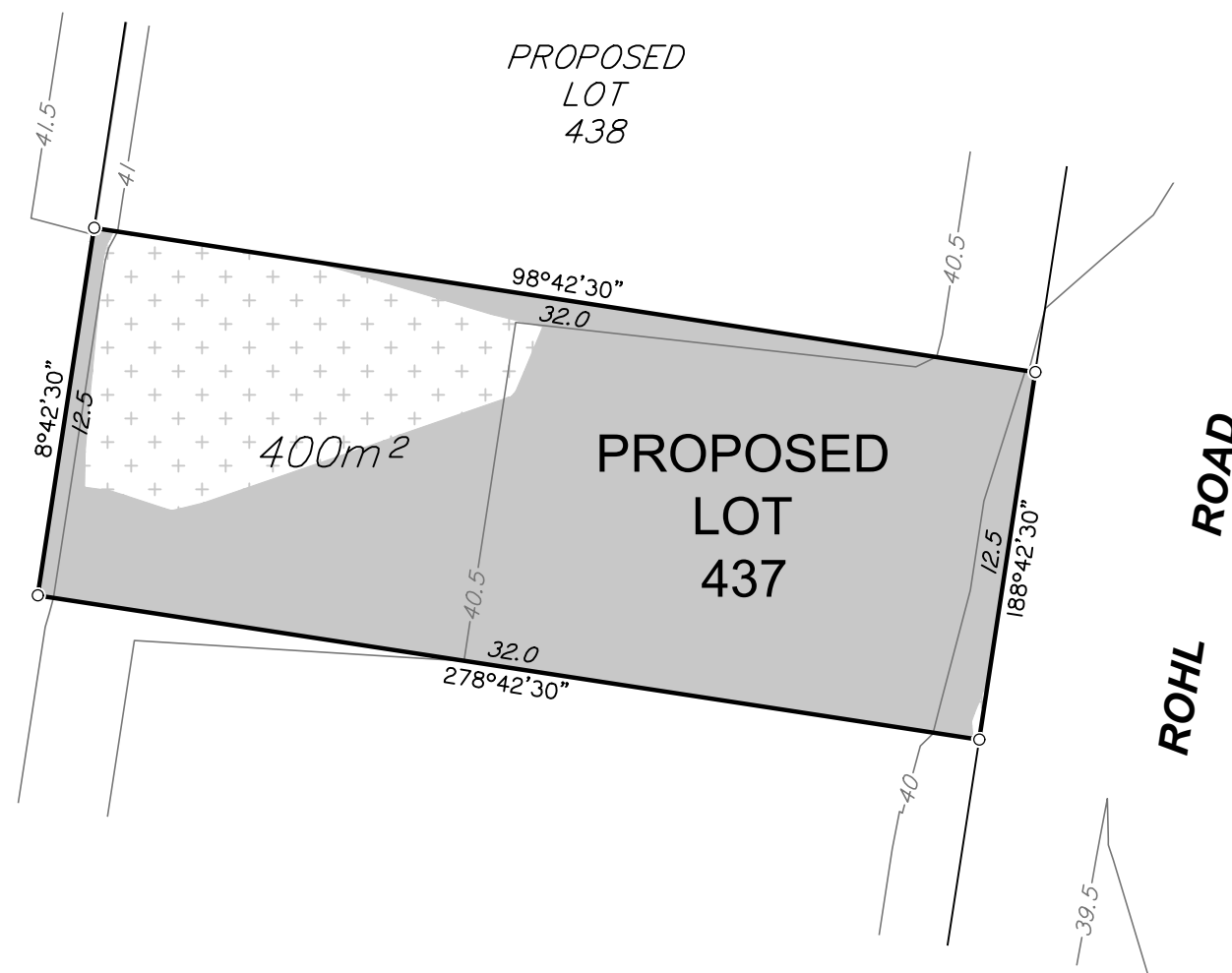


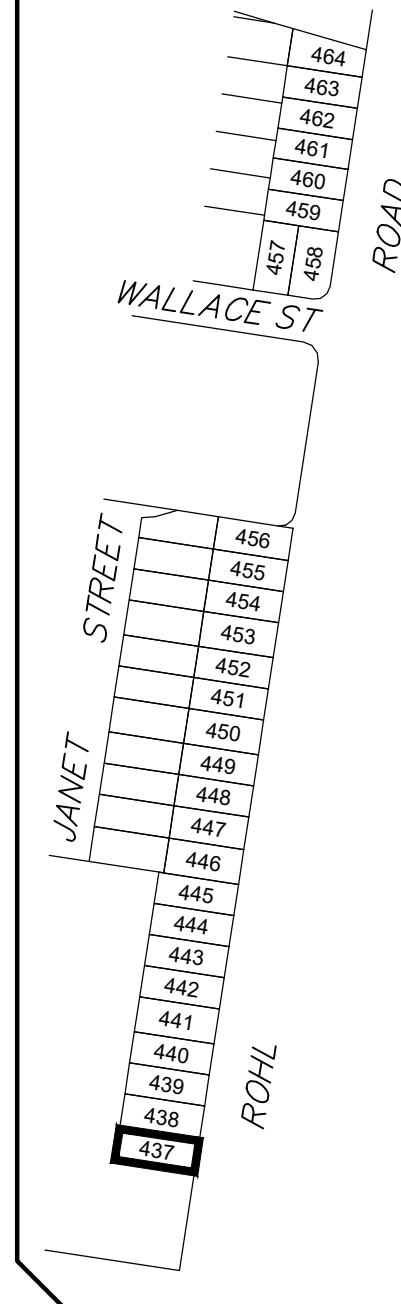


PROPOSED
FUTURE
DEVELOPMENT



LOCALITY DIAGRAM

NOT TO SCALE



DISCLOSURE PLAN FOR PROPOSED LOT 437


This plan shows:


Details of Proposed Lot 437 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants.

A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SP129274, Lot 2 on RP54767, Lot 1 on SP179238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions.


This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions. Waterlea Nominees Co Pty Ltd recommends using As Constructed information for design purposes.


Engineering details shown hereon were supplied by Calibre on 9th March 2021.

Design surface contours based on AHD datum at an interval of 0.5m, shown as:  63.5

Where applicable, Easements are shown as: 

Where applicable areas to be filled are shown as: 

Where applicable areas to be cut are shown as: 

Where applicable, Retaining walls are shown as: 

Maximum Fill Depth: 1.1m

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798-2007 and Ipswich City Council Planning Scheme Policy 3 - General Works, Part 4 - Eathworks.

Project:

**WATERLEA
STAGE 5B**

Client:

**WATERLEA
NOMINEES CO
PTY LTD**

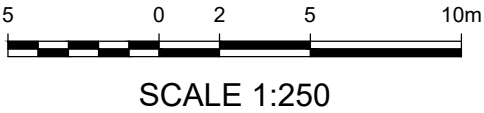
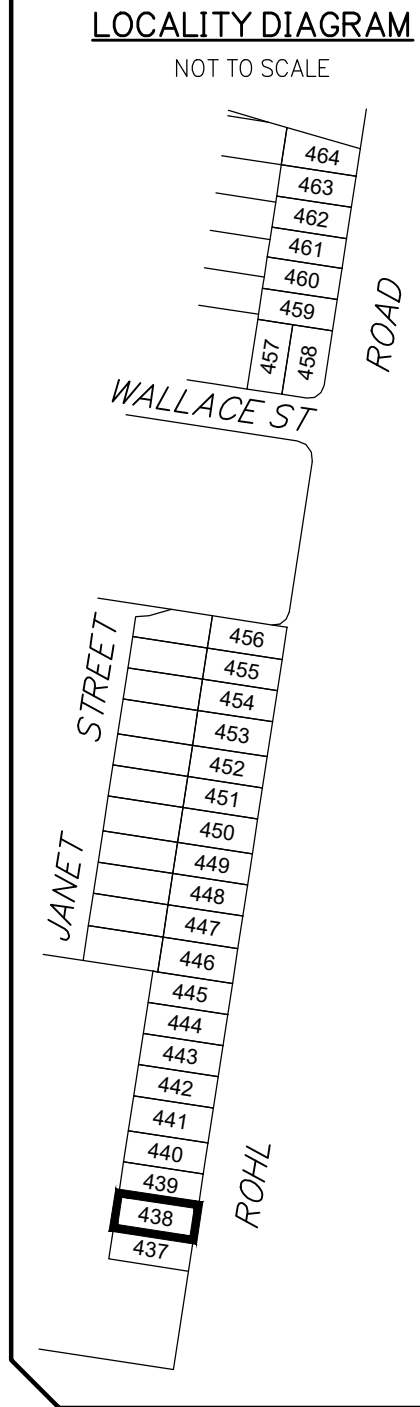
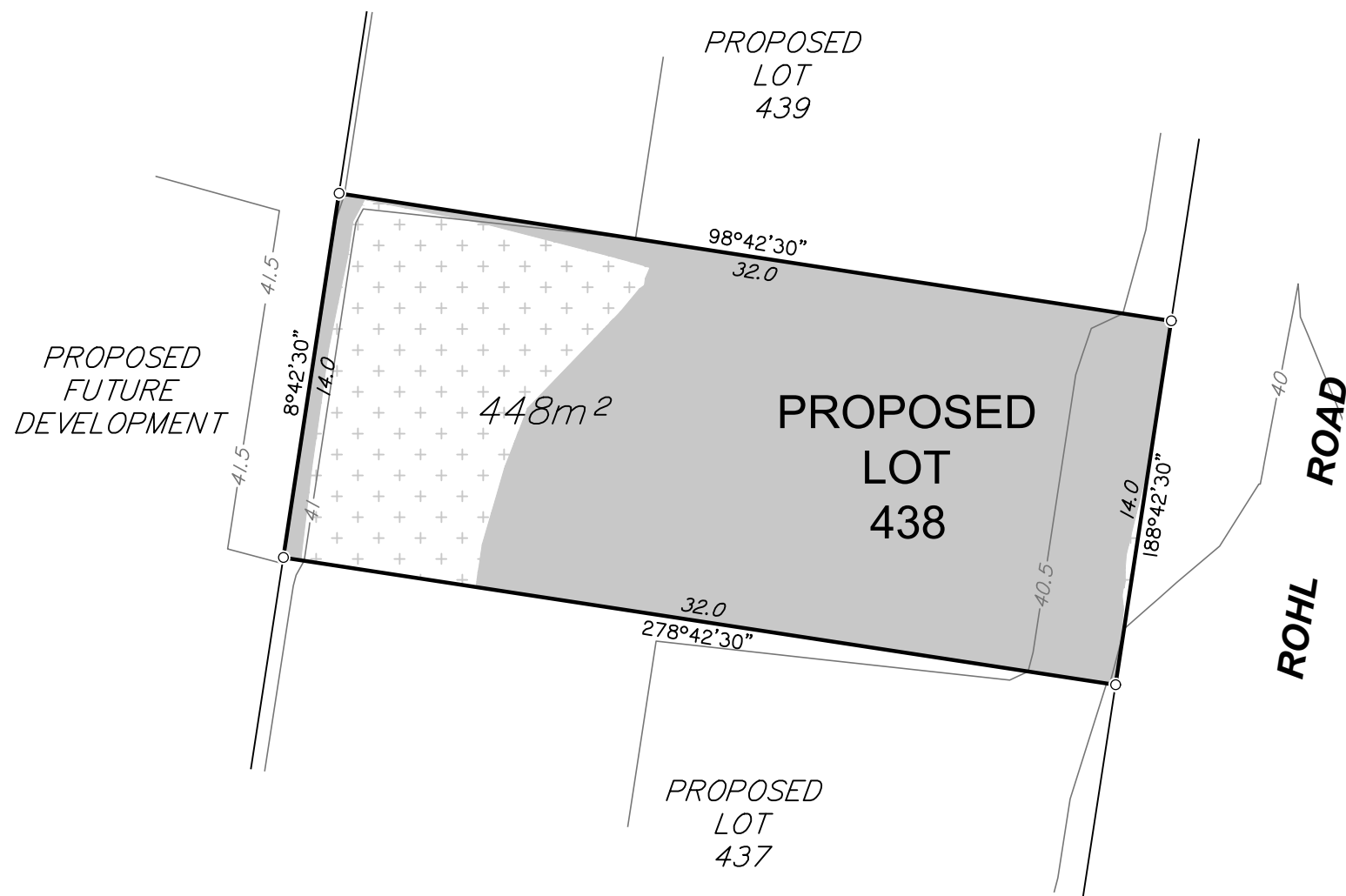


Western Corridor Office
Level 6, Springfield Tower
145 Sinnathamby Boulevard
Springfield Central QLD 4300
PO Box 4647
Springfield QLD 4300

t (07) 3470 8100
f (07) 3470 8101
e info@landpartners.com.au
w www.landpartners.com.au




DRAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER WC007157-05B-3-2	
DATE	18/03/2021		





DISCLOSURE PLAN FOR PROPOSED LOT 438


This plan shows:
Details of Proposed Lot 438 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants.
A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SPI29274, Lot 2 on RP54767, Lot 1 on SPI79238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions.
This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions. Waterlea Nominees Co Pty Ltd recommends using As Constructed information for design purposes.


Engineering details shown hereon were supplied by Calibre on 9th March 2021.

Design surface contours based on AHD D datum at an interval of 0.5m, shown as:  63.5

Where applicable, Easements are shown as: 

Where applicable areas to be filled are shown as: 

Where applicable areas to be cut are shown as: 

Where applicable, Retaining walls are shown as: 

Maximum Fill Depth: 0.6m

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798-2007 and Ipswich City Council Planning Scheme Policy 3 – General Works, Part 4 – Eathworks.

Project:	Client:
WATERLEA STAGE 5B	WATERLEA NOMINEES CO PTY LTD

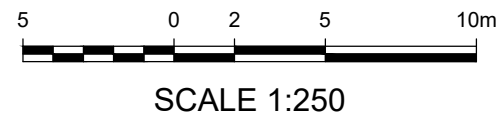
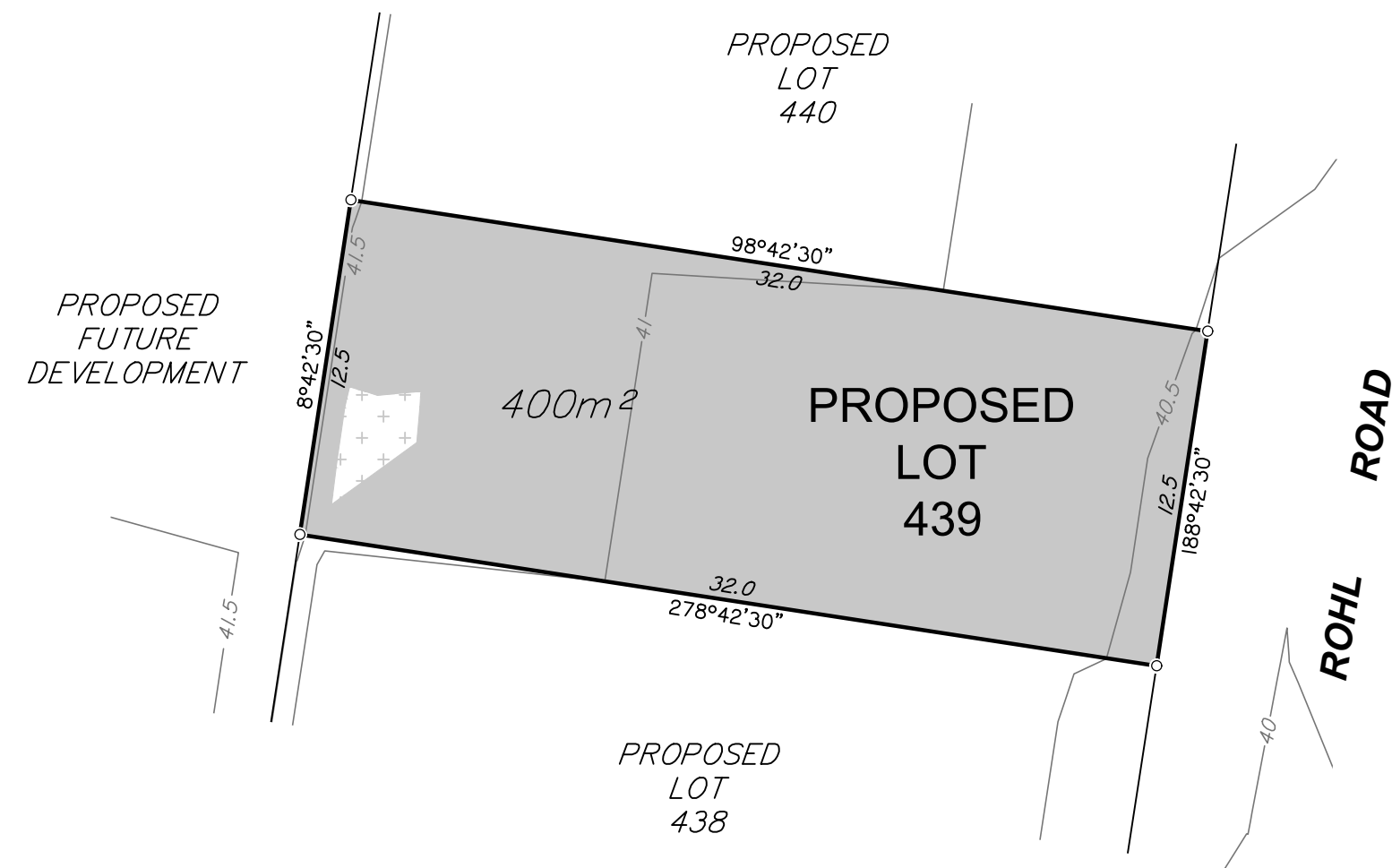


**LANDPARTNERS**
built environment consultants

Western Corridor Office
Level 6, Springfield Tower
145 Sinnathamby Boulevard
Springfield Central QLD 4300
PO Box 4647
Springfield QLD 4300
t (07) 3470 8100
f (07) 3470 8101
e info@landpartners.com.au
w www.landpartners.com.au

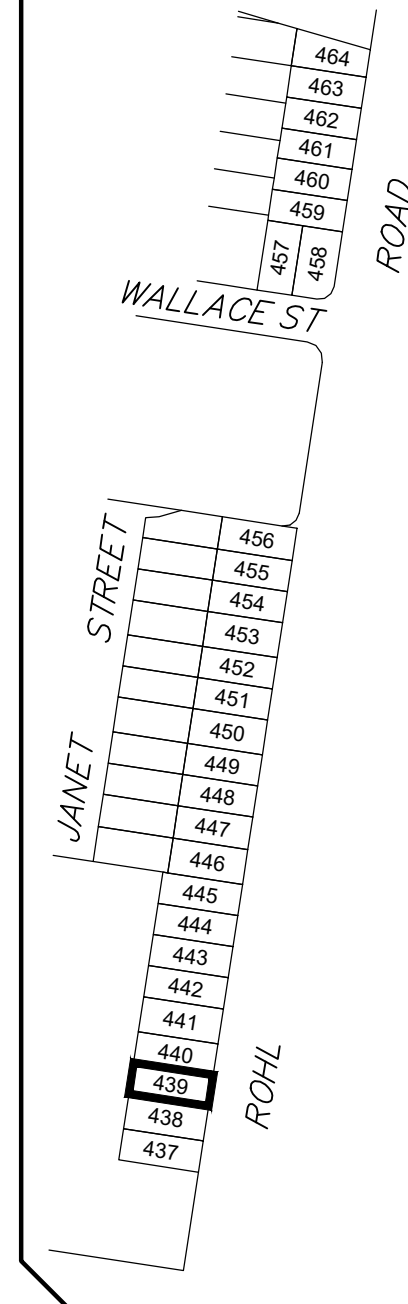


DRAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER WC007157-05B-4-2	
DATE	18/03/2021		



LOCALITY DIAGRAM

NOT TO SCALE



DISCLOSURE PLAN FOR PROPOSED LOT 439

This plan shows:


Details of Proposed Lot 439 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants.


A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SPI29274, Lot 2 on RP54767, Lot 1 on SPI79238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions.


This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions. Waterlea Nominees Co Pty Ltd recommends using As Constructed information for design purposes.


Engineering details shown hereon were supplied by Calibre on 9th March 2021.

Design surface contours based on AHD D datum at an interval of 0.5m, shown as: 

Where applicable, Easements are shown as: 

Where applicable areas to be filled are shown as: 

Where applicable areas to be cut are shown as: 

Where applicable, Retaining walls are shown as: 

Maximum Fill Depth: 1.4m

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798-2007 and Ipswich City Council Planning Scheme Policy 3 - General Works, Part 4 - Eathworks.

Project:

**WATERLEA
STAGE 5B**

Client:

**WATERLEA
NOMINEES CO
PTY LTD**

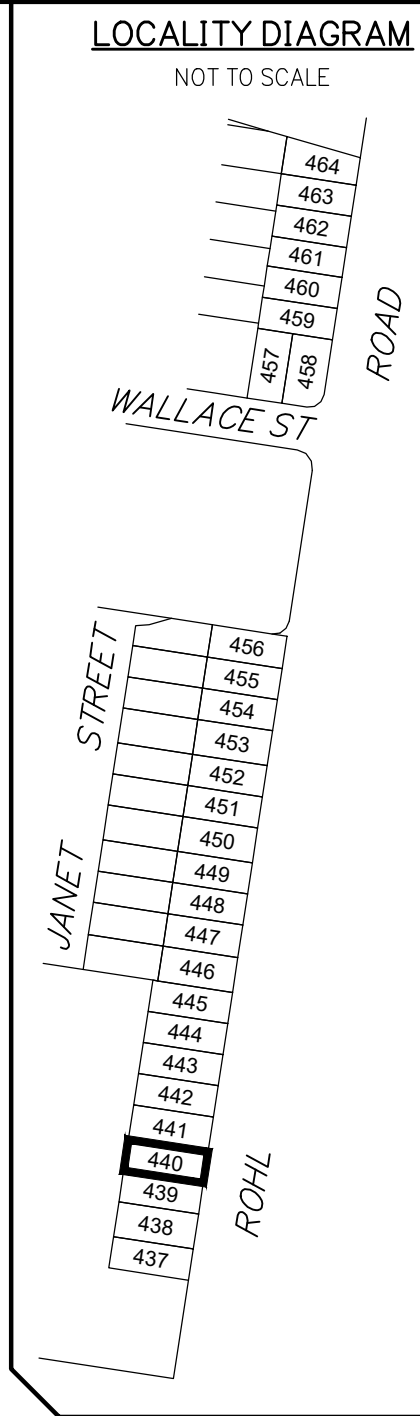
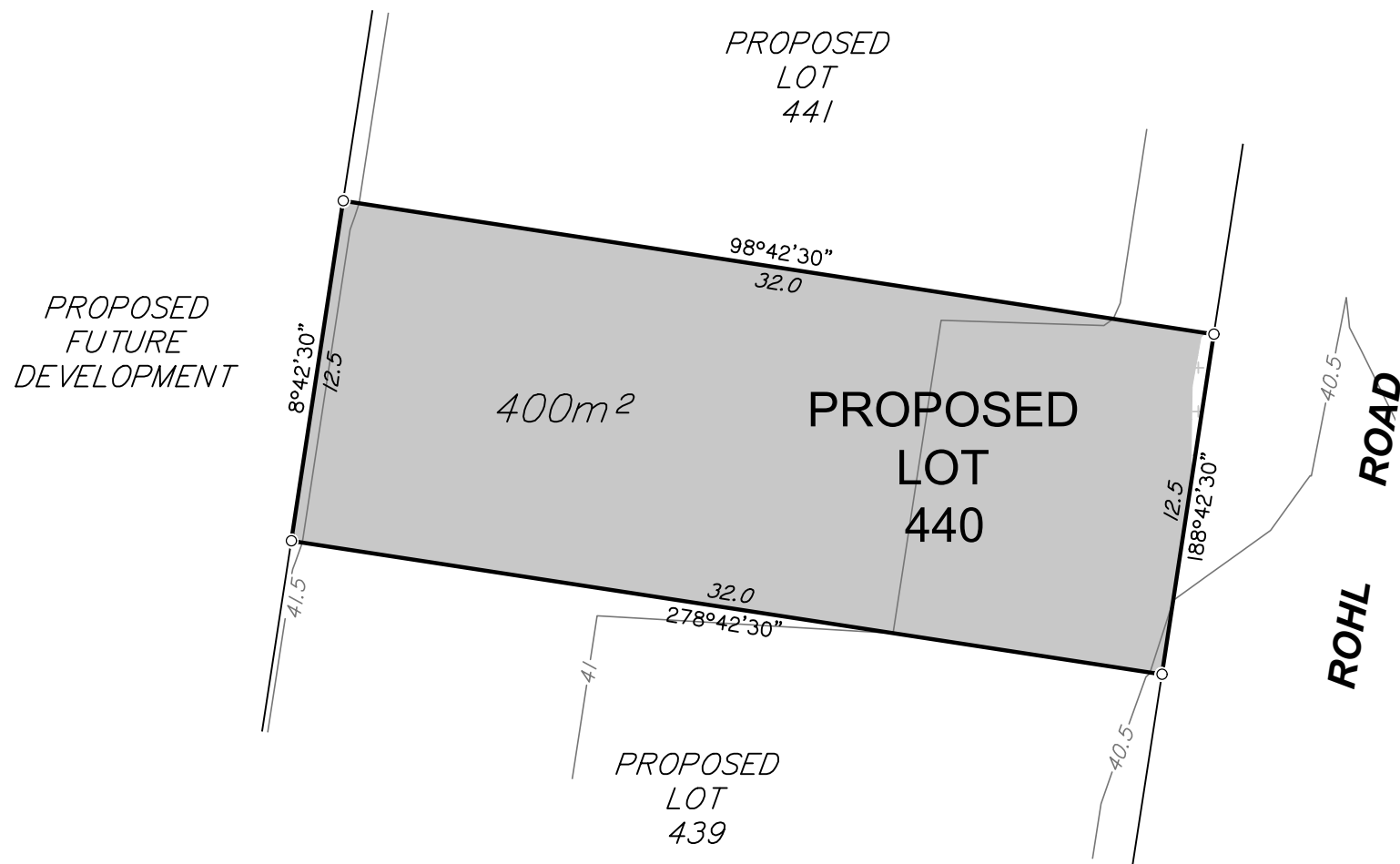


Western Corridor Office
Level 6, Springfield Tower
145 Sinnathamby Boulevard
Springfield Central QLD 4300
PO Box 4647
Springfield QLD 4300

t (07) 3470 8100
f (07) 3470 8101
e info@landpartners.com.au
w www.landpartners.com.au




DRAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER WC007157-05B-5-2	
DATE	18/03/2021		





DISCLOSURE PLAN FOR PROPOSED LOT 440

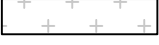
This plan shows:
Details of Proposed Lot 440 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants.
A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SPI29274, Lot 2 on RP54767, Lot 1 on SPI79238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions.
This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions. Waterlea Nominees Co Pty Ltd recommends using As Constructed information for design purposes.


Engineering details shown hereon were supplied by Calibre on 9th March 2021.

Design surface contours based on AHD D datum at an interval of 0.5m, shown as:  63.5

Where applicable, Easements are shown as: 

Where applicable areas to be filled are shown as: 

Where applicable areas to be cut are shown as: 

Where applicable, Retaining walls are shown as: 

Maximum Fill Depth: 1.6m

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798-2007 and Ipswich City Council Planning Scheme Policy 3 – General Works, Part 4 – Eathworks.

Project:	Client:
WATERLEA STAGE 5B	WATERLEA NOMINEES CO PTY LTD

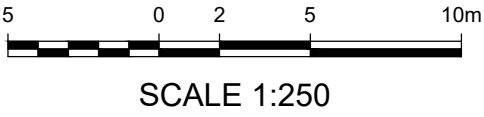


**LANDPARTNERS**
built environment consultants

Western Corridor Office
Level 6, Springfield Tower
145 Sinnathamby Boulevard
Springfield Central QLD 4300
PO Box 4647
Springfield QLD 4300
t (07) 3470 8100
f (07) 3470 8101
e info@landpartners.com.au
w www.landpartners.com.au

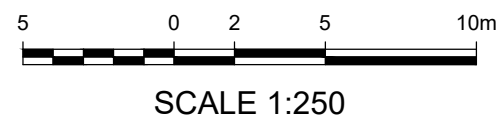
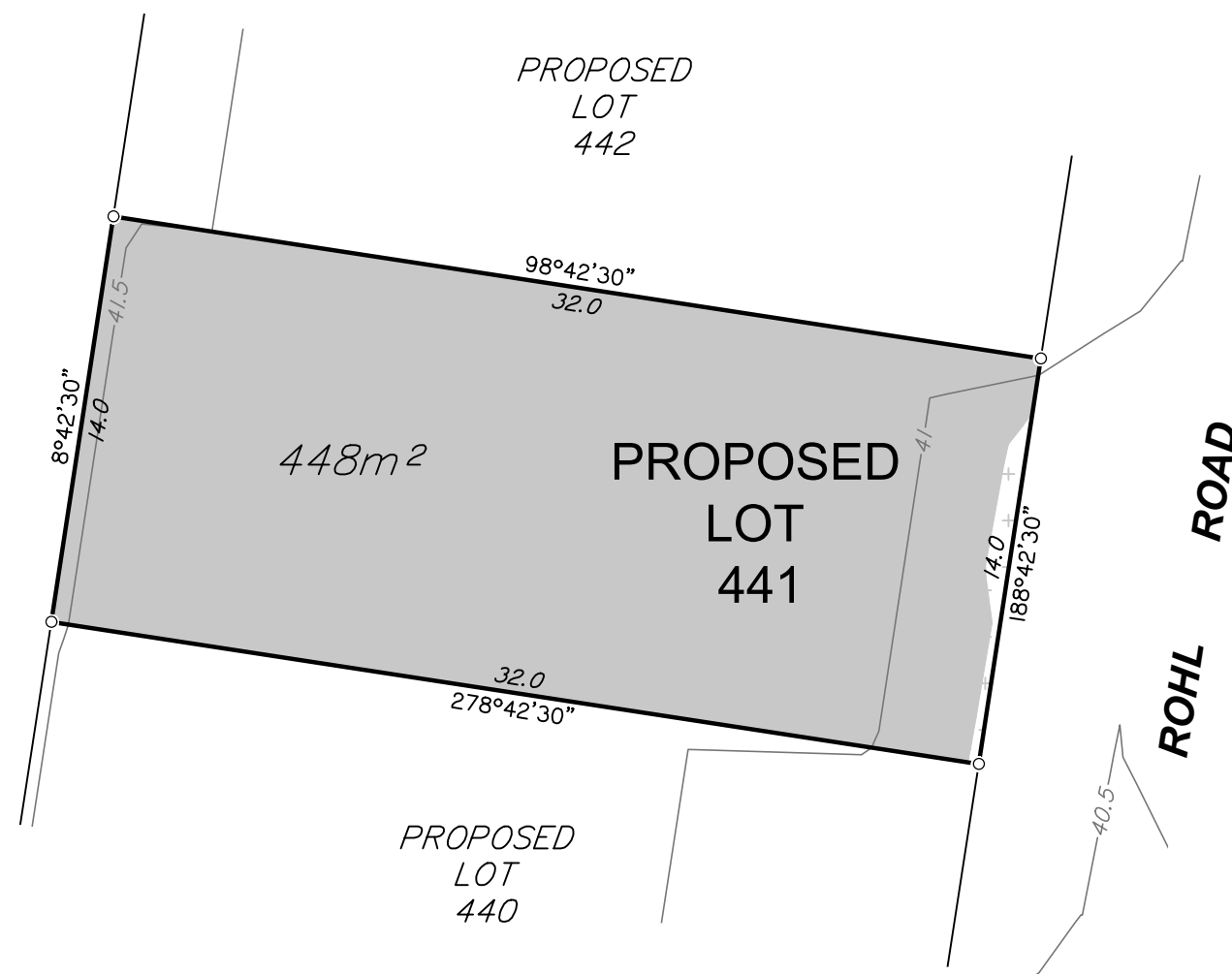


DRAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER WC007157-05B-6-2	
DATE	18/03/2021		



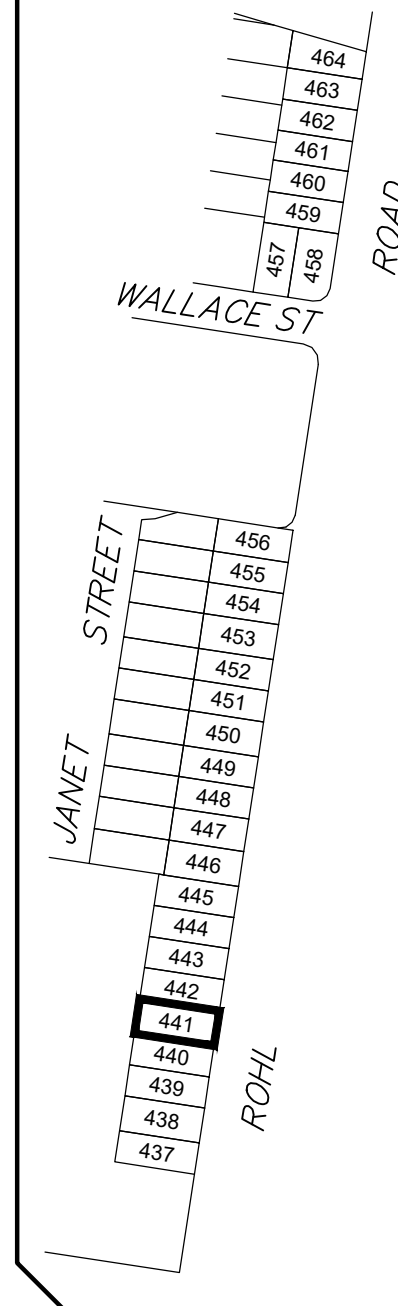


PROPOSED
FUTURE
DEVELOPMENT



LOCALITY DIAGRAM

NOT TO SCALE



DISCLOSURE PLAN FOR PROPOSED LOT 441

This plan shows:

Details of Proposed Lot 441 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants.

A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SPI29274, Lot 2 on RP54767, Lot 1 on SPI79238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions.

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions. Waterlea Nominees Co Pty Ltd recommends using As Constructed information for design purposes.

Engineering details shown hereon were supplied by Calibre on 9th March 2021.

Design surface contours based on AHD D datum at an interval of 0.5m, shown as: — 63.5 —

Where applicable, Easements are shown as:

Where applicable areas to be filled are shown as:

Where applicable areas to be cut are shown as:

Where applicable, Retaining walls are shown as:

Maximum Fill Depth: 1.6m

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798-2007 and Ipswich City Council Planning Scheme Policy 3 – General Works, Part 4 – Earthworks.

Project:

**WATERLEA
STAGE 5B**

Client:

**WATERLEA
NOMINEES CO
PTY LTD**

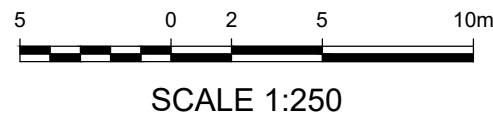
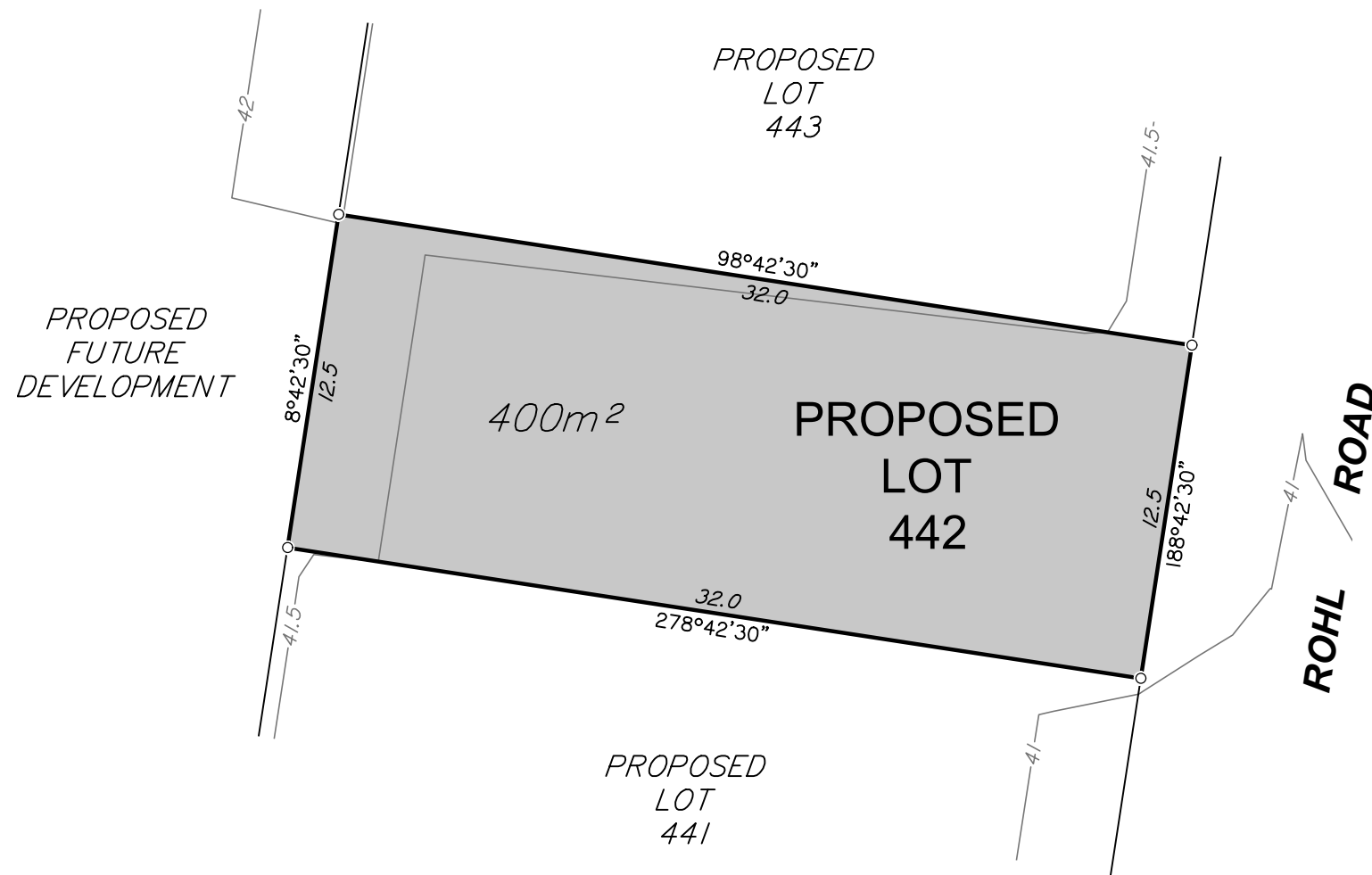


Western Corridor Office
Level 6, Springfield Tower
145 Sinnathamby Boulevard
Springfield Central QLD 4300
PO Box 4647
Springfield QLD 4300

t (07) 3470 8100
f (07) 3470 8101
e info@landpartners.com.au
w www.landpartners.com.au

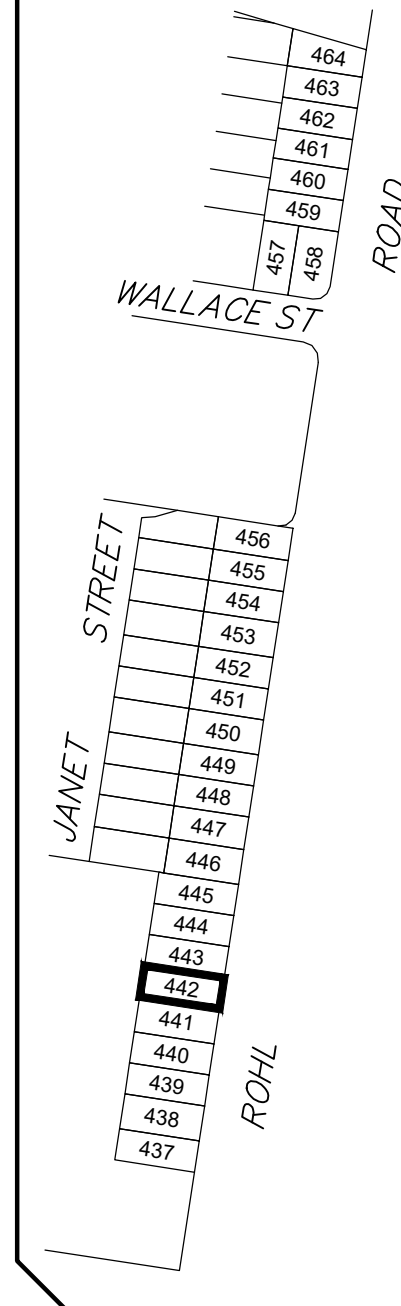


DRAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER WC007157-05B-7-2	
DATE	18/03/2021		



LOCALITY DIAGRAM

NOT TO SCALE



DISCLOSURE PLAN FOR PROPOSED LOT 442

This plan shows:

Details of Proposed Lot 442 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants.

A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SPI29274, Lot 2 on RP54767, Lot 1 on SPI79238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions.

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions. Waterlea Nominees Co Pty Ltd recommends using As Constructed information for design purposes.

Engineering details shown hereon were supplied by Calibre on 9th March 2021.

Design surface contours based on AHD D datum at an interval of 0.5m, shown as: — 63.5 —

Where applicable, Easements are shown as:

Where applicable areas to be filled are shown as:

Where applicable areas to be cut are shown as:

Where applicable, Retaining walls are shown as:

Maximum Fill Depth: 1.4m

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798-2007 and Ipswich City Council Planning Scheme Policy 3 – General Works, Part 4 – Eathworks.

Project:

**WATERLEA
STAGE 5B**

Client:

**WATERLEA
NOMINEES CO
PTY LTD**

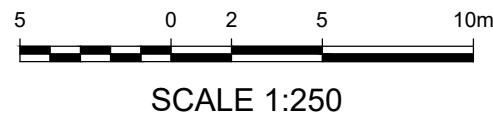
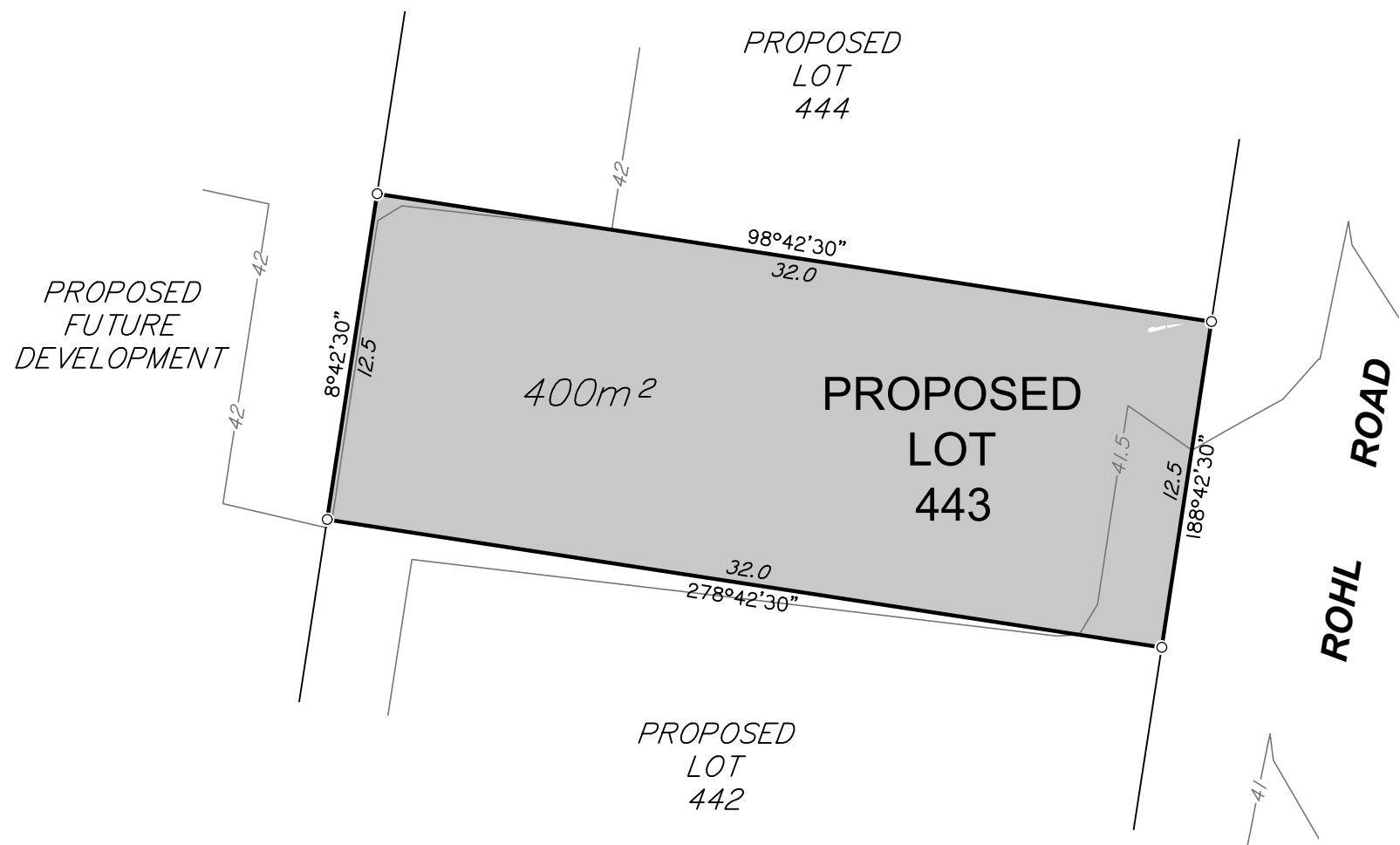


Western Corridor Office
Level 6, Springfield Tower
145 Sinnathamby Boulevard
Springfield Central QLD 4300
PO Box 4647
Springfield QLD 4300

t (07) 3470 8100
f (07) 3470 8101
e info@landpartners.com.au
w www.landpartners.com.au

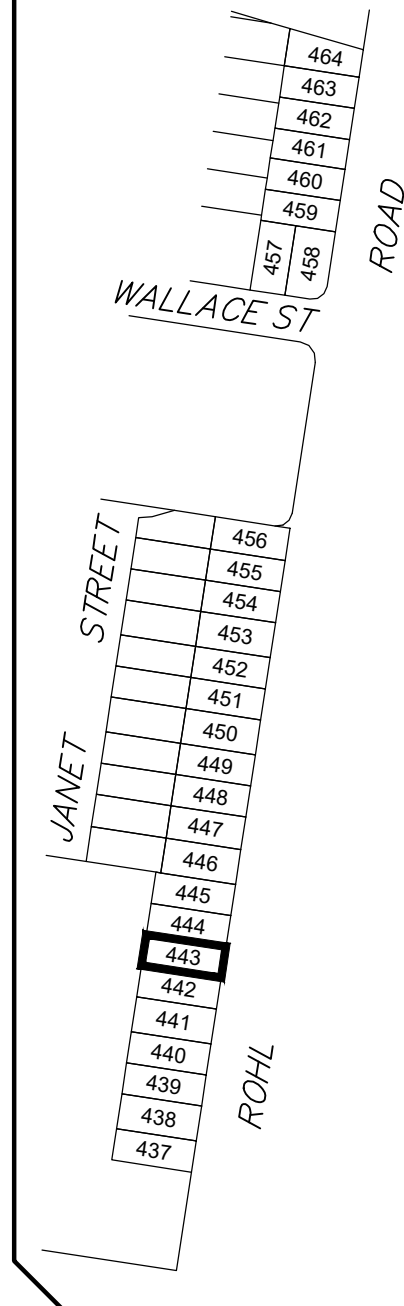


DRAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER	WC007157-05B-8-2
DATE	18/03/2021		



LOCALITY DIAGRAM


NOT TO SCALE

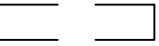



DISCLOSURE PLAN FOR PROPOSED LOT 443

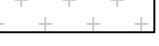
This plan shows:
Details of Proposed Lot 443 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants.
A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SPI29274, Lot 2 on RP54767, Lot 1 on SPI79238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions.
This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions. Waterlea Nominees Co Pty Ltd recommends using As Constructed information for design purposes.


Engineering details shown hereon were supplied by Calibre on 9th March 2021.

Design surface contours based on AHD D datum at an interval of 0.5m, shown as:  63.5

Where applicable, Easements are shown as: 

Where applicable areas to be filled are shown as: 

Where applicable areas to be cut are shown as: 

Where applicable, Retaining walls are shown as: 

Maximum Fill Depth: 1.3m

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798-2007 and Ipswich City Council Planning Scheme Policy 3 – General Works, Part 4 – Eathworks.

Project:	Client:
WATERLEA STAGE 5B	WATERLEA NOMINEES CO PTY LTD





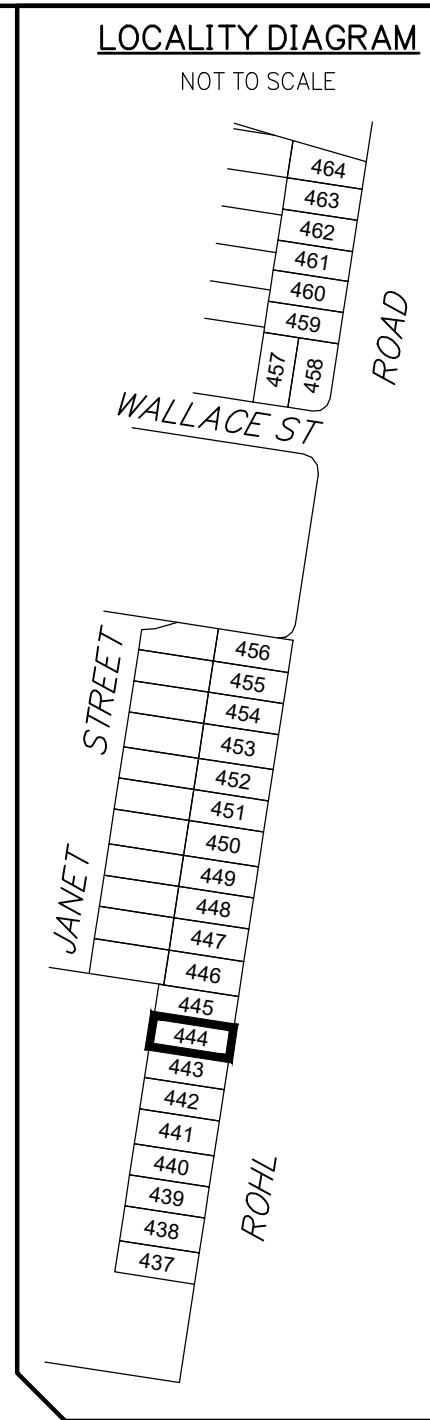
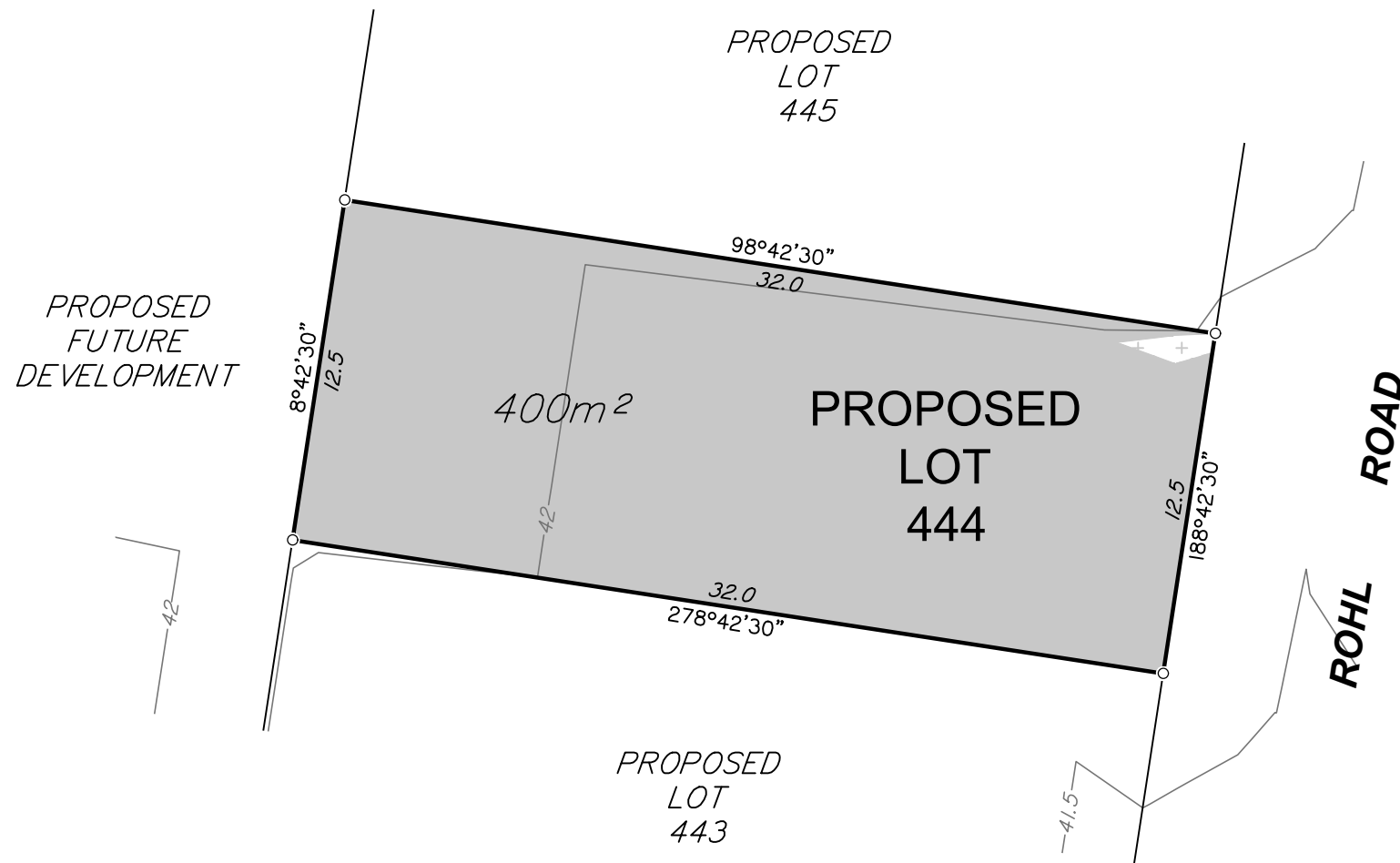
LANDPARTNERS
built environment consultants

Western Corridor Office
Level 6, Springfield Tower
145 Sinnathamby Boulevard
Springfield Central QLD 4300
PO Box 4647
Springfield QLD 4300

t (07) 3470 8100
f (07) 3470 8101
e info@landpartners.com.au
w www.landpartners.com.au



DRAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER WC007157-05B-9-2	
DATE	18/03/2021		




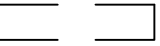
DISCLOSURE PLAN FOR PROPOSED LOT 444


This plan shows:
Details of Proposed Lot 444 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants.
A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SPI29274, Lot 2 on RP54767, Lot 1 on SPI79238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions.

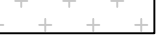
This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions. Waterlea Nominees Co Pty Ltd recommends using As Constructed information for design purposes.


Engineering details shown hereon were supplied by Calibre on 9th March 2021.

Design surface contours based on AHD D datum at an interval of 0.5m, shown as: 

Where applicable, Easements are shown as: 

Where applicable areas to be filled are shown as: 

Where applicable areas to be cut are shown as: 

Where applicable, Retaining walls are shown as: 

Maximum Fill Depth: 1.2m

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798-2007 and Ipswich City Council Planning Scheme Policy 3 - General Works, Part 4 - Eathworks.

Project:	Client:
WATERLEA STAGE 5B	WATERLEA NOMINEES CO PTY LTD





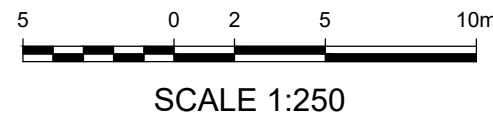
LANDPARTNERS
built environment consultants

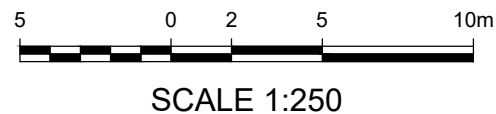
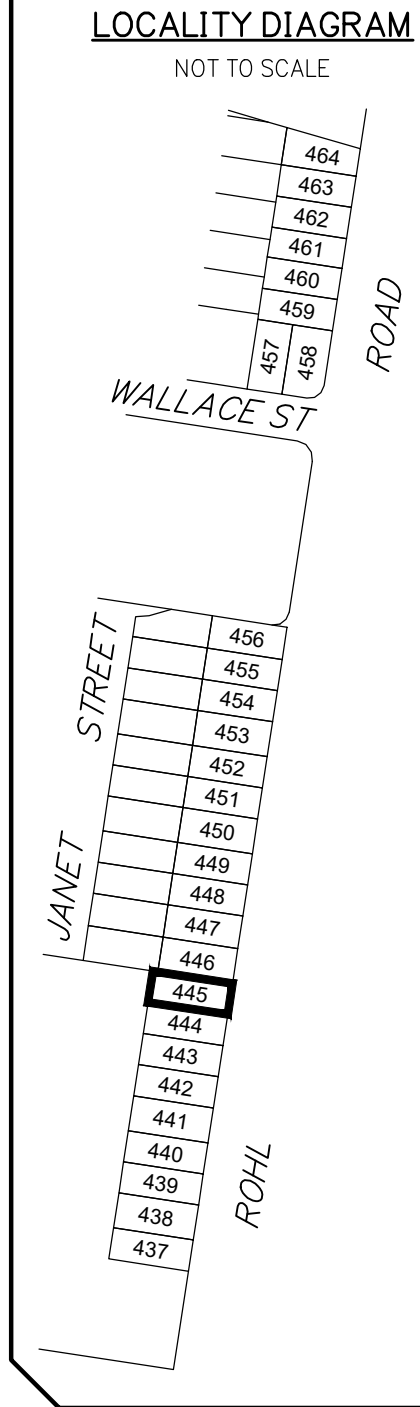
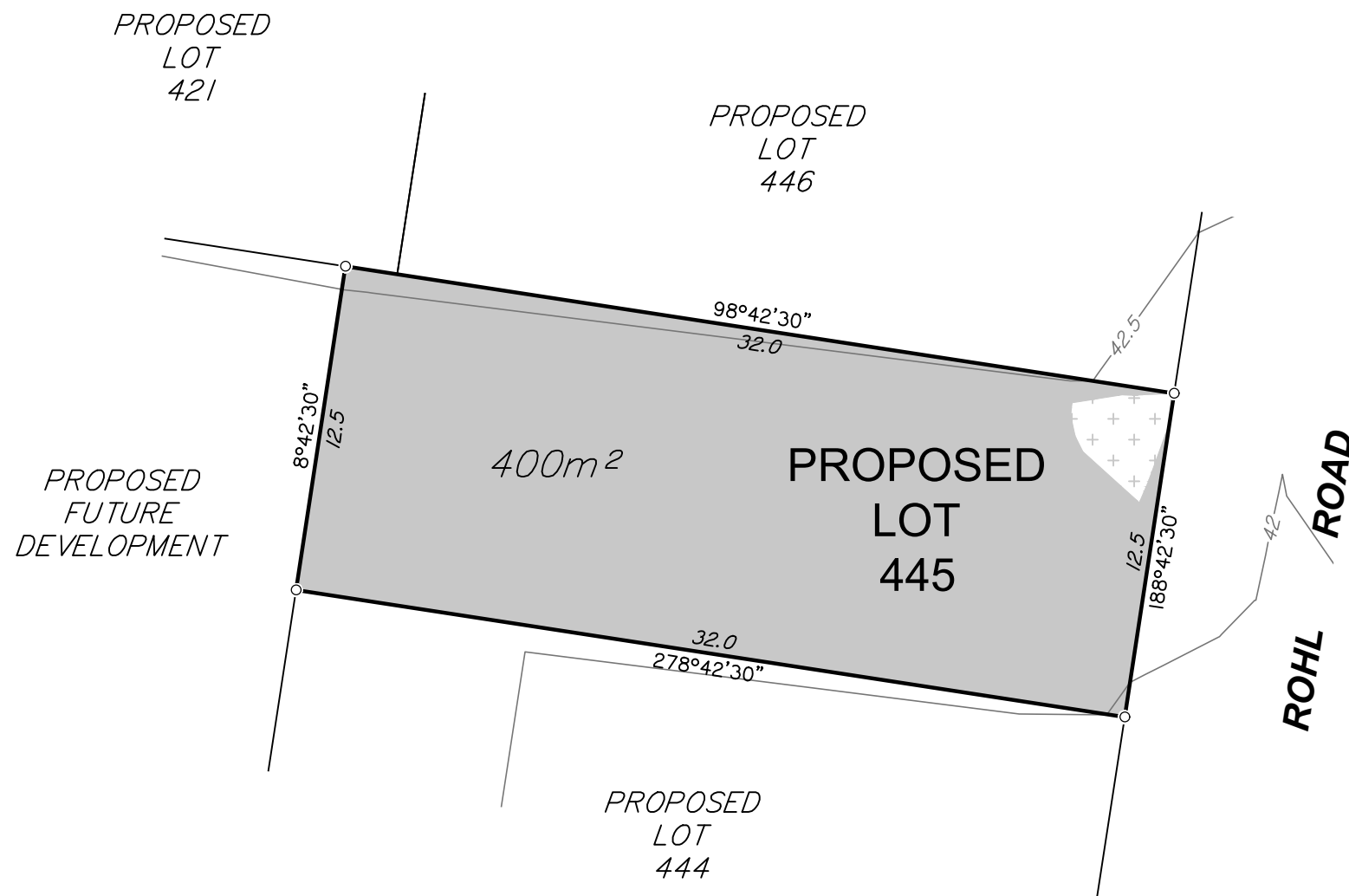
Western Corridor Office
Level 6, Springfield Tower
145 Sinnathamby Boulevard
Springfield Central QLD 4300
PO Box 4647
Springfield QLD 4300

t (07) 3470 8100
f (07) 3470 8101
e info@landpartners.com.au
w www.landpartners.com.au



DRAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER WC007157-05B-10-2	
DATE	18/03/2021		








DISCLOSURE PLAN FOR PROPOSED LOT 445

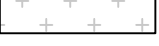
This plan shows:
Details of Proposed Lot 445 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants.
A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SPI29274, Lot 2 on RP54767, Lot 1 on SPI79238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions.
This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions. Waterlea Nominees Co Pty Ltd recommends using As Constructed information for design purposes.


Engineering details shown hereon were supplied by Calibre on 9th March 2021.

Design surface contours based on AHD D datum at an interval of 0.5m, shown as:  63.5

Where applicable, Easements are shown as: 

Where applicable areas to be filled are shown as: 

Where applicable areas to be cut are shown as: 

Where applicable, Retaining walls are shown as: 

Maximum Fill Depth: 1.0m

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798-2007 and Ipswich City Council Planning Scheme Policy 3 – General Works, Part 4 – Eathworks.

Project:	Client:
WATERLEA STAGE 5B	WATERLEA NOMINEES CO PTY LTD





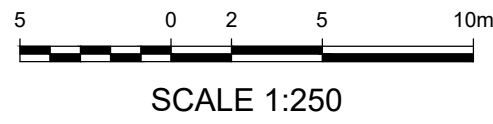
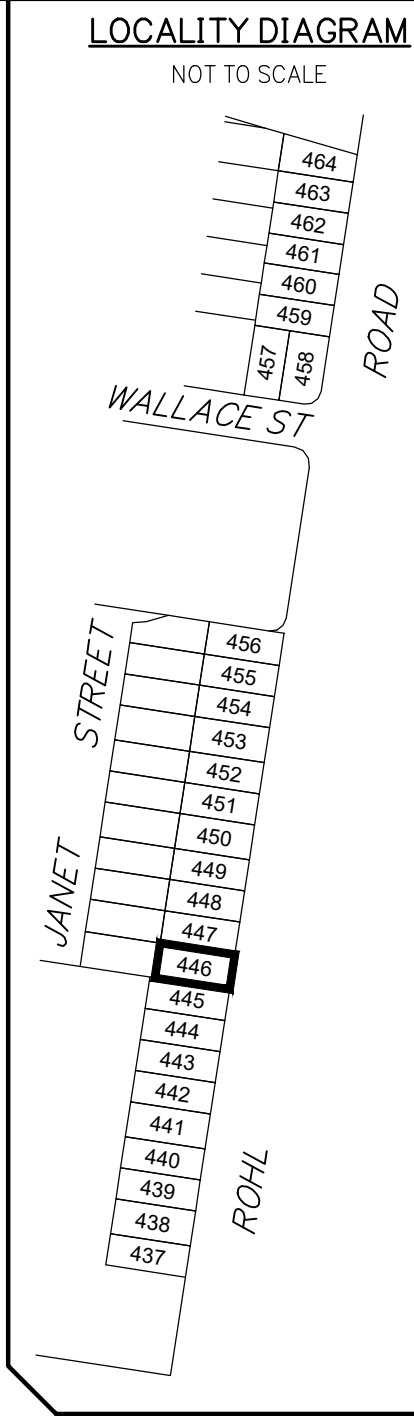
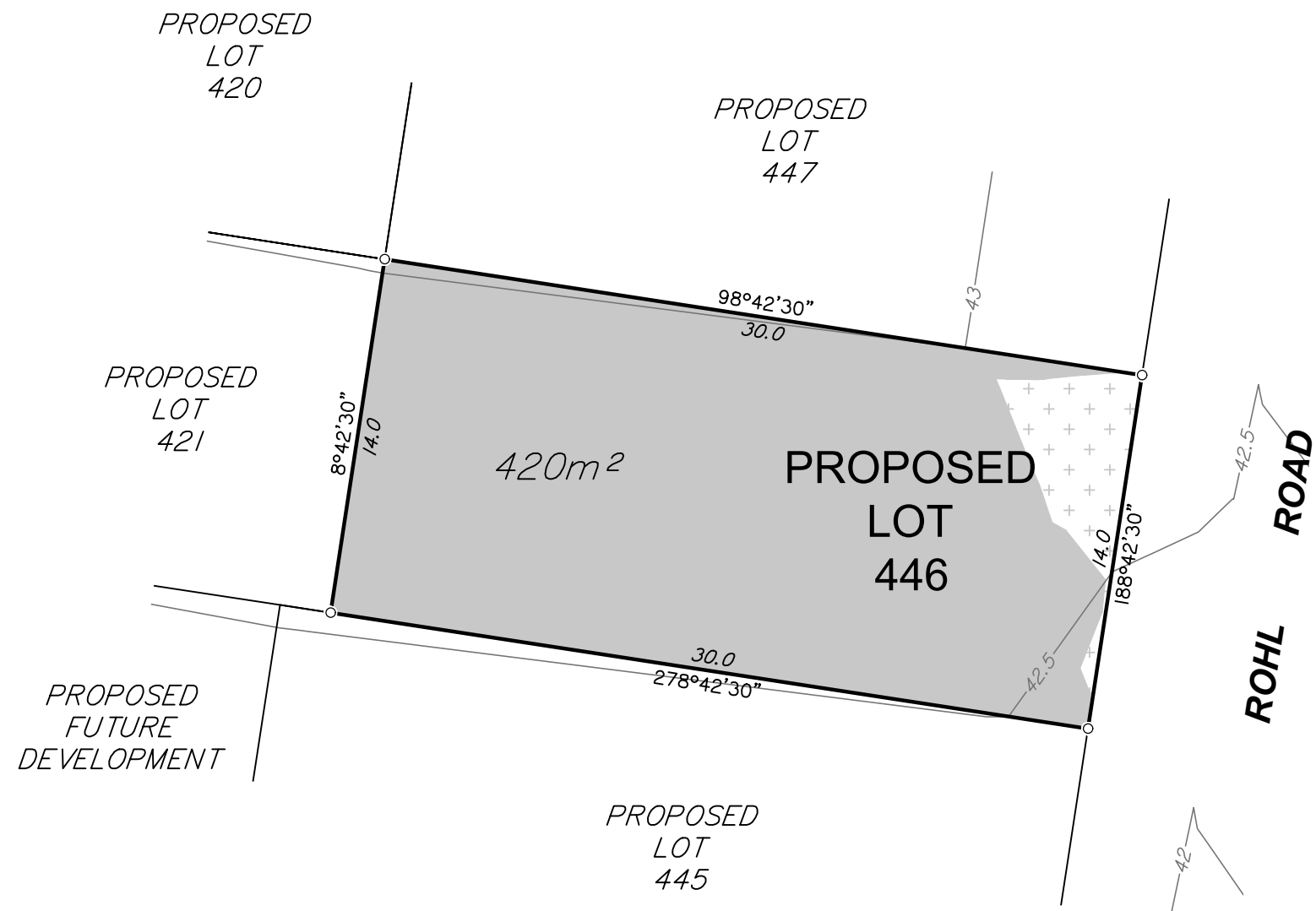
LANDPARTNERS
built environment consultants

Western Corridor Office
Level 6, Springfield Tower
145 Sinnathamby Boulevard
Springfield Central QLD 4300
PO Box 4647
Springfield QLD 4300

t (07) 3470 8100
f (07) 3470 8101
e info@landpartners.com.au
w www.landpartners.com.au



DRAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER WC007157-05B-11-2	
DATE	18/03/2021		



DISCLOSURE PLAN FOR PROPOSED LOT 446

This plan shows:
Details of Proposed Lot 446 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants.
A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SPI29274, Lot 2 on RP54767, Lot 1 on SPI79238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions.
This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions. Waterlea Nominees Co Pty Ltd recommends using As Constructed information for design purposes.

Engineering details shown hereon were supplied by Calibre on 9th March 2021.

Design surface contours based on AHD D datum at an interval of 0.5m, shown as: 63.5

Where applicable, Easements are shown as:

Where applicable areas to be filled are shown as:

Where applicable areas to be cut are shown as:

Where applicable, Retaining walls are shown as:

Maximum Fill Depth: 1.0m

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798-2007 and Ipswich City Council Planning Scheme Policy 3 – General Works, Part 4 – Eathworks.

Project:	Client:
WATERLEA STAGE 5B	WATERLEA NOMINEES CO PTY LTD





LANDPARTNERS
built environment consultants

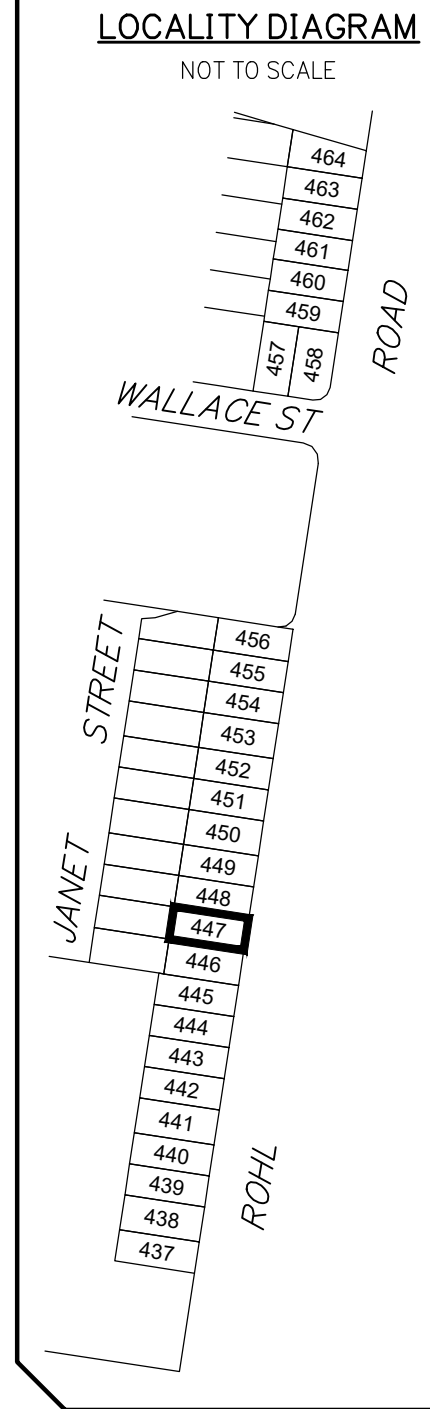
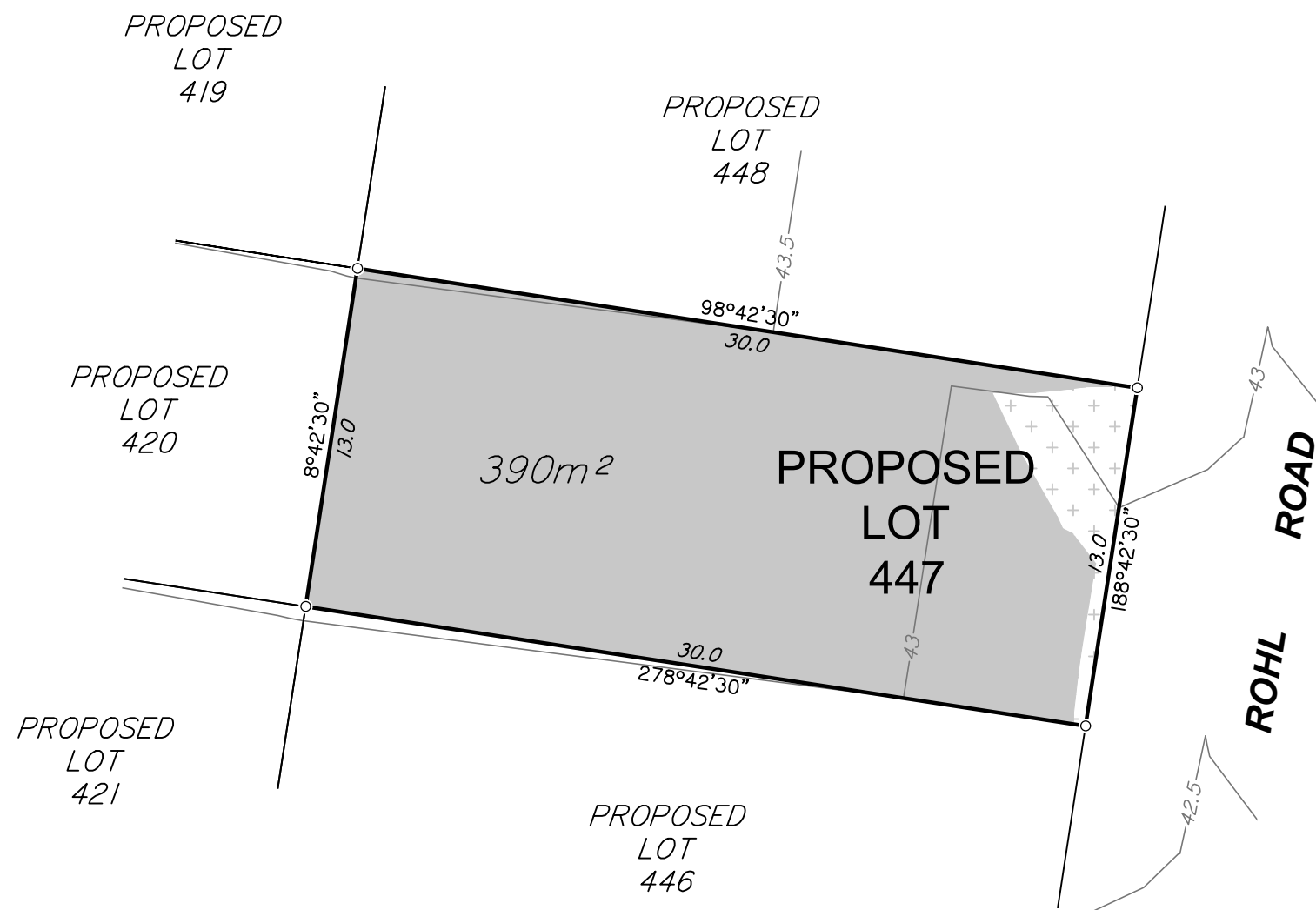
Western Corridor Office
Level 6, Springfield Tower
145 Sinnathamby Boulevard
Springfield Central QLD 4300
PO Box 4647
Springfield QLD 4300

t (07) 3470 8100
f (07) 3470 8101
e info@landpartners.com.au
w www.landpartners.com.au



DRAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER	WC007157-05B-12-2
DATE	18/03/2021		

PJB




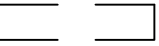
DISCLOSURE PLAN FOR PROPOSED LOT 447


This plan shows:
Details of Proposed Lot 447 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants.
A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SPI29274, Lot 2 on RP54767, Lot 1 on SPI79238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions.

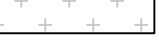
This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions. Waterlea Nominees Co Pty Ltd recommends using As Constructed information for design purposes.


Engineering details shown hereon were supplied by Calibre on 9th March 2021.

Design surface contours based on AHD D datum at an interval of 0.5m, shown as: 

Where applicable, Easements are shown as: 

Where applicable areas to be filled are shown as: 

Where applicable areas to be cut are shown as: 

Where applicable, Retaining walls are shown as: 

Maximum Fill Depth: 1.0m

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798-2007 and Ipswich City Council Planning Scheme Policy 3 - General Works, Part 4 - Eathworks.

Project:	Client:
WATERLEA STAGE 5B	WATERLEA NOMINEES CO PTY LTD

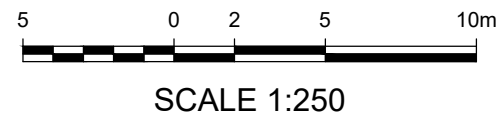


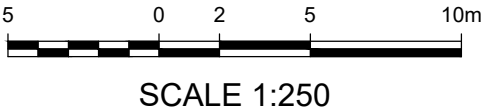
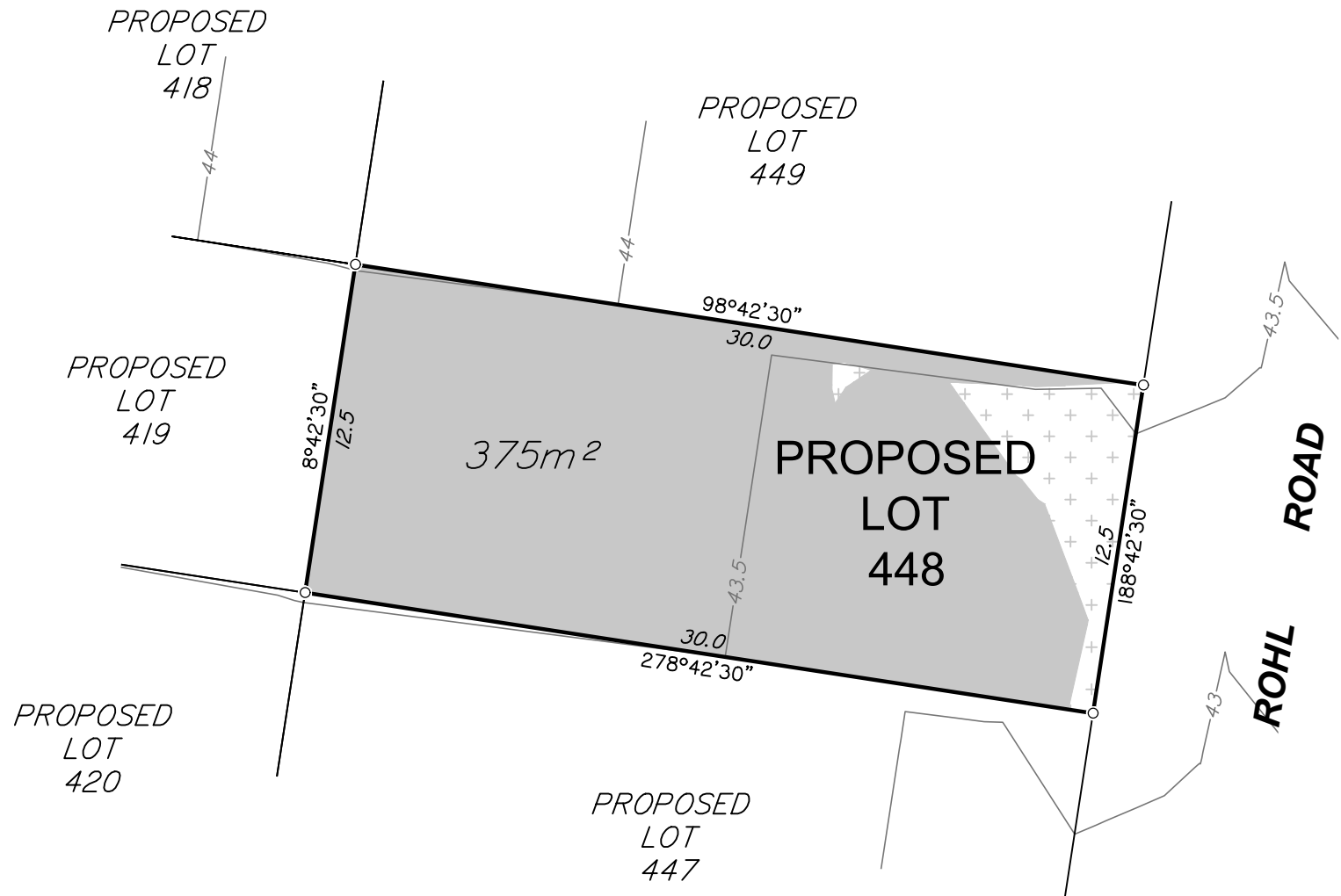
**LANDPARTNERS**
built environment consultants

Western Corridor Office
Level 6, Springfield Tower
145 Sinnathamby Boulevard
Springfield Central QLD 4300
PO Box 4647
Springfield QLD 4300
t (07) 3470 8100
f (07) 3470 8101
e info@landpartners.com.au
w www.landpartners.com.au



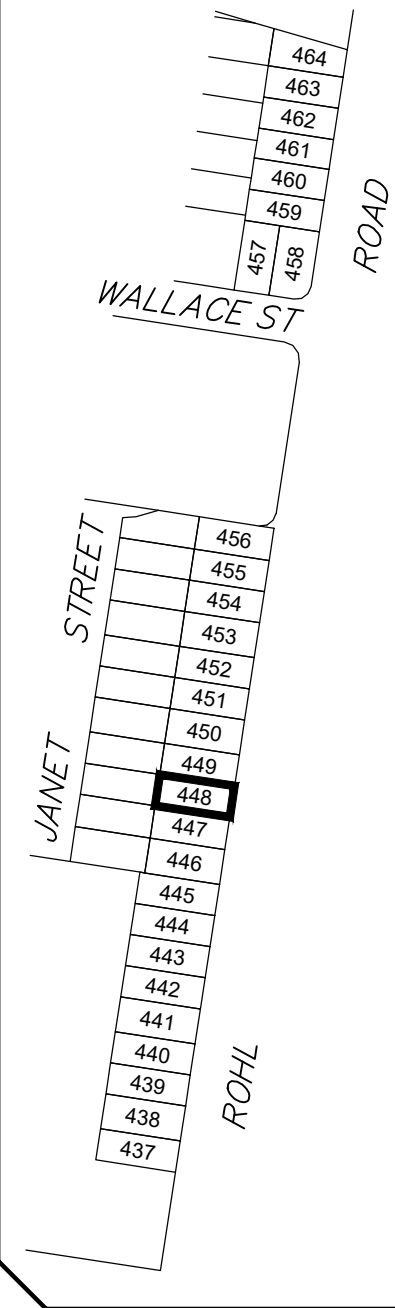
DRAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER WC007157-05B-13-2	
DATE	18/03/2021		





LOCALITY DIAGRAM

NOT TO SCALE



DISCLOSURE PLAN FOR PROPOSED LOT 448

This plan shows:
Details of Proposed Lot 448 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants.
A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SPI29274, Lot 2 on RP54767, Lot 1 on SPI79238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions.

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions. Waterlea Nominees Co Pty Ltd recommends using As Constructed information for design purposes.

Engineering details shown hereon were supplied by Calibre on 9th March 2021.

Design surface contours based on AHD D datum at an interval of 0.5m, shown as: 63.5

Where applicable, Easements are shown as:

Where applicable areas to be filled are shown as:

Where applicable areas to be cut are shown as:

Where applicable, Retaining walls are shown as:

Maximum Fill Depth: 1.0m

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798-2007 and Ipswich City Council Planning Scheme Policy 3 – General Works, Part 4 – Eathworks.

Project:	Client:
WATERLEA STAGE 5B	WATERLEA NOMINEES CO PTY LTD





LANDPARTNERS
built environment consultants

Western Corridor Office
Level 6, Springfield Tower
145 Sinnathamby Boulevard
Springfield Central QLD 4300
PO Box 4647
Springfield QLD 4300

t (07) 3470 8100
f (07) 3470 8101
e info@landpartners.com.au
w www.landpartners.com.au

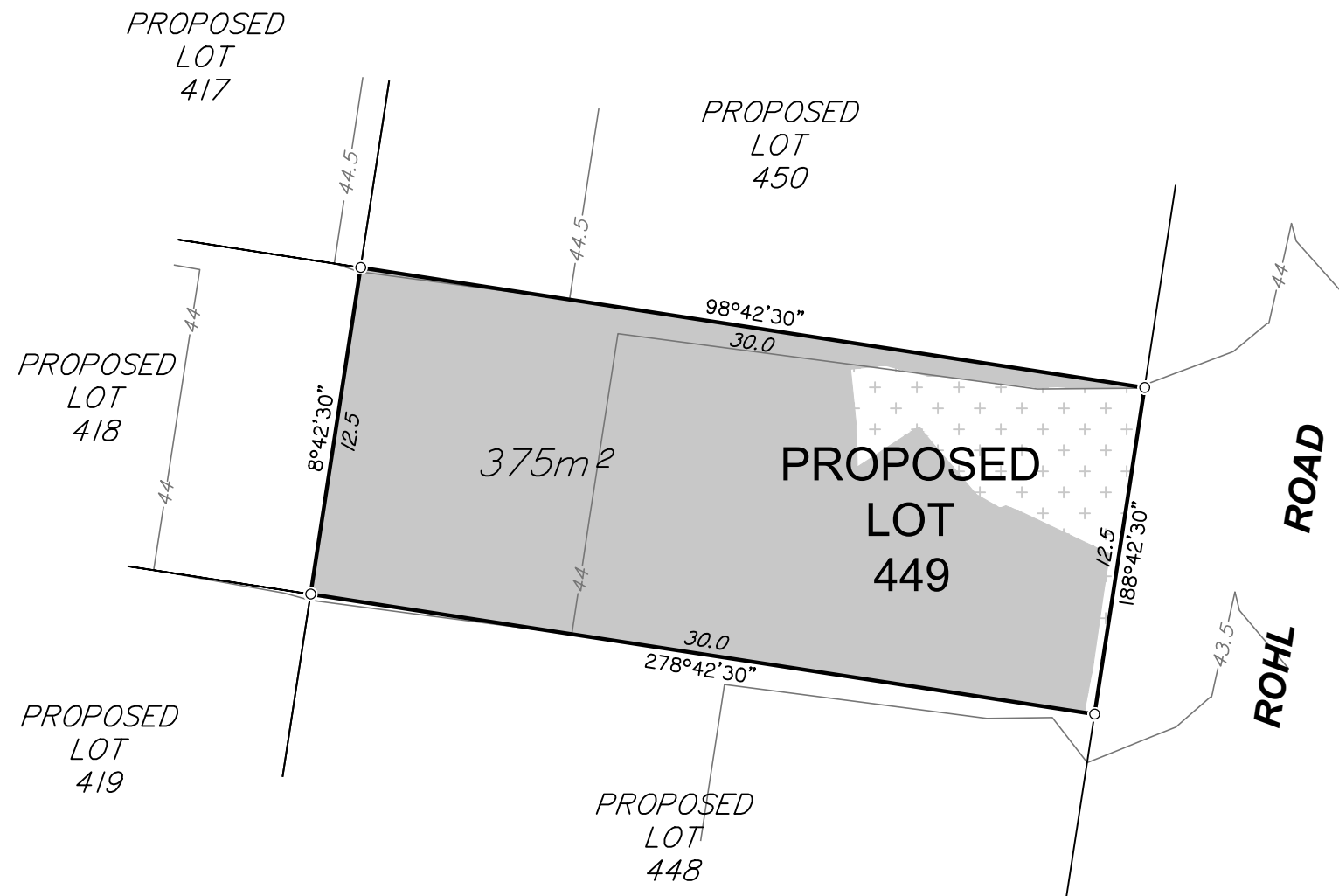
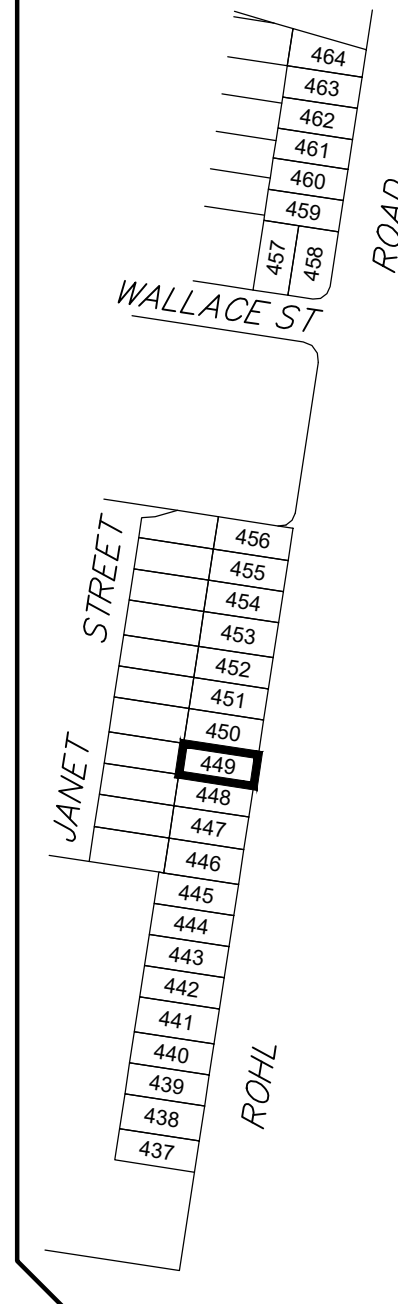


DRAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER	WC007157-05B-14-2
DATE	18/03/2021		



LOCALITY DIAGRAM

NOT TO SCALE



DISCLOSURE PLAN FOR PROPOSED LOT 449

This plan shows:

Details of Proposed Lot 449 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants.

A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SP129274, Lot 2 on RP54767, Lot 1 on SP179238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions.

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions. Waterlea Nominees Co Pty Ltd recommends using As Constructed information for design purposes.

Engineering details shown hereon were supplied by Calibre on 9th March 2021.

Design surface contours based on AHD D datum at an interval of 0.5m, shown as: — 63.5 —

Where applicable, Easements are shown as:

Where applicable areas to be filled are shown as:

Where applicable areas to be cut are shown as:

Where applicable, Retaining walls are shown as:

Maximum Fill Depth: 0.9m

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798-2007 and Ipswich City Council Planning Scheme Policy 3 – General Works, Part 4 – Eathworks.

Project:

**WATERLEA
STAGE 5B**

Client:

**WATERLEA
NOMINEES CO
PTY LTD**



LANDPARTNERS
built environment consultants

Western Corridor Office
Level 6, Springfield Tower
145 Sinnathamby Boulevard
Springfield Central QLD 4300
PO Box 4647
Springfield QLD 4300

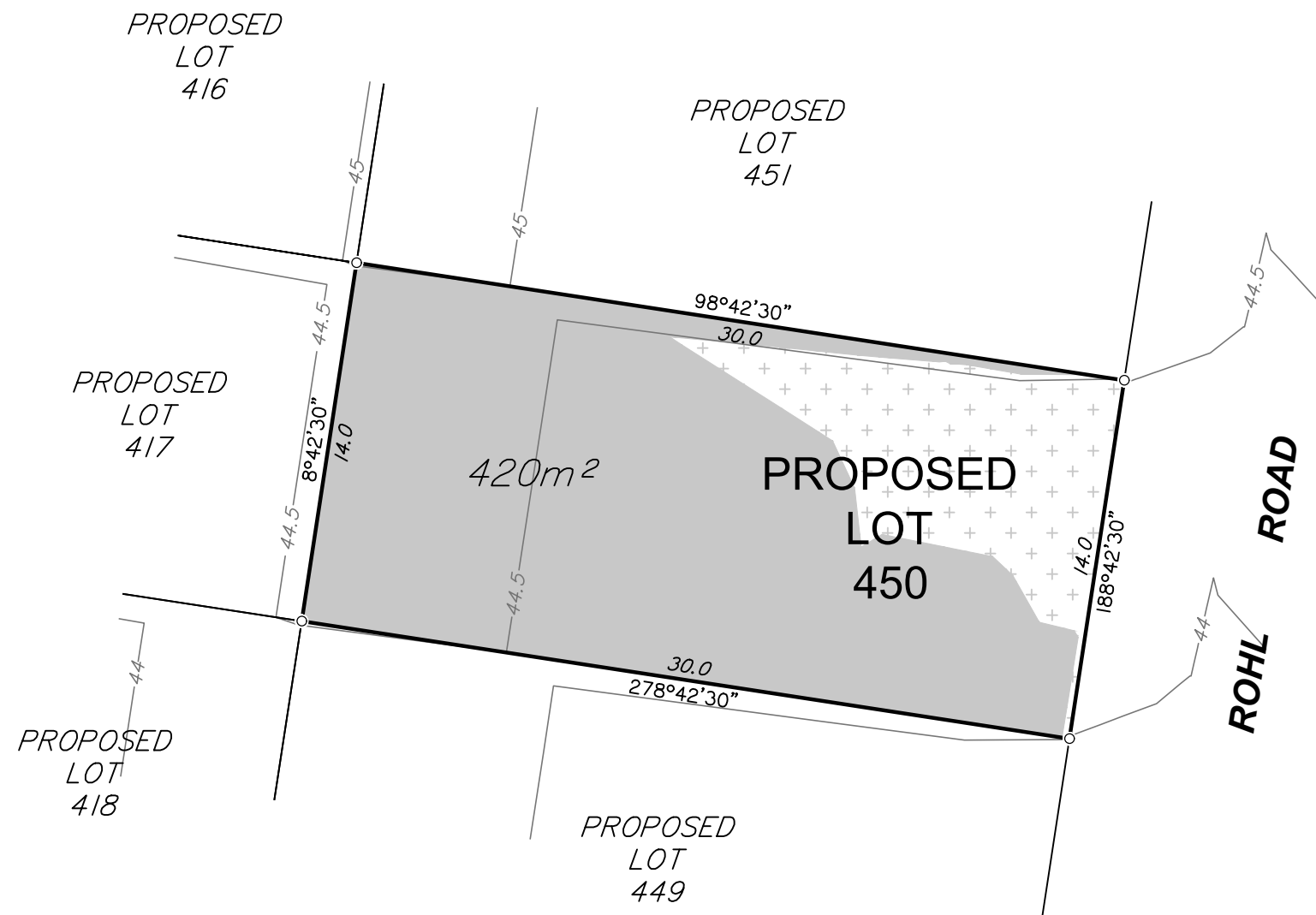
t (07) 3470 8100
f (07) 3470 8101
e info@landpartners.com.au
w www.landpartners.com.au



DRAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER	WC007157-05B-15-2
DATE	18/03/2021		

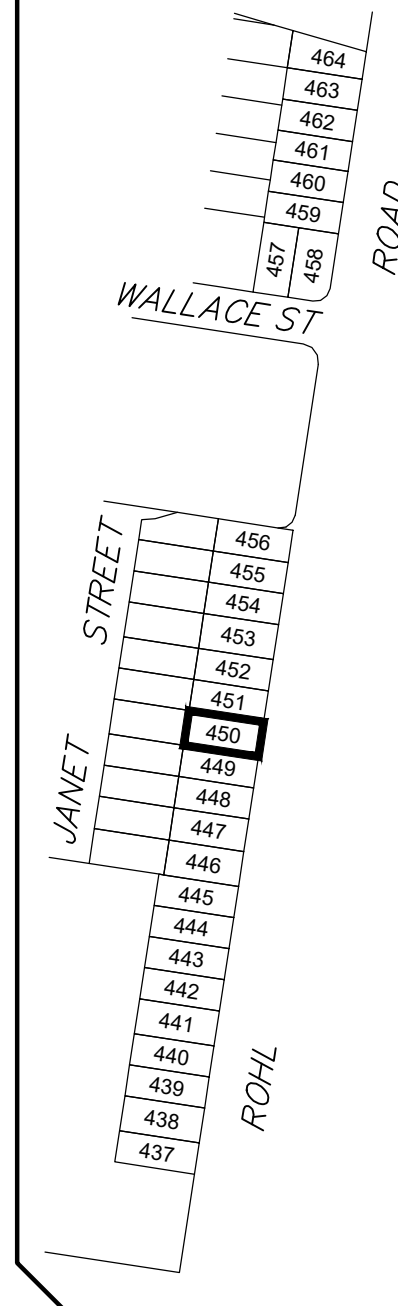


SCALE 1:250



LOCALITY DIAGRAM

NOT TO SCALE



DISCLOSURE PLAN FOR PROPOSED LOT 450

This plan shows:

Details of Proposed Lot 450 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants.

A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SPI29274, Lot 2 on RP54767, Lot 1 on SPI79238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions.

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions. Waterlea Nominees Co Pty Ltd recommends using As Constructed information for design purposes.

Engineering details shown hereon were supplied by Calibre on 9th March 2021.

Design surface contours based on AHD D datum at an interval of 0.5m, shown as: — 63.5 —

Where applicable, Easements are shown as: [Symbol]

Where applicable areas to be filled are shown as: [Symbol]

Where applicable areas to be cut are shown as: [Symbol]

Where applicable, Retaining walls are shown as: [Symbol]

Maximum Fill Depth: 0.9m

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798-2007 and Ipswich City Council Planning Scheme Policy 3 – General Works, Part 4 – Eathworks.

Project:

**WATERLEA
STAGE 5B**

Client:

**WATERLEA
NOMINEES CO
PTY LTD**



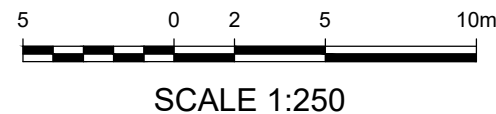
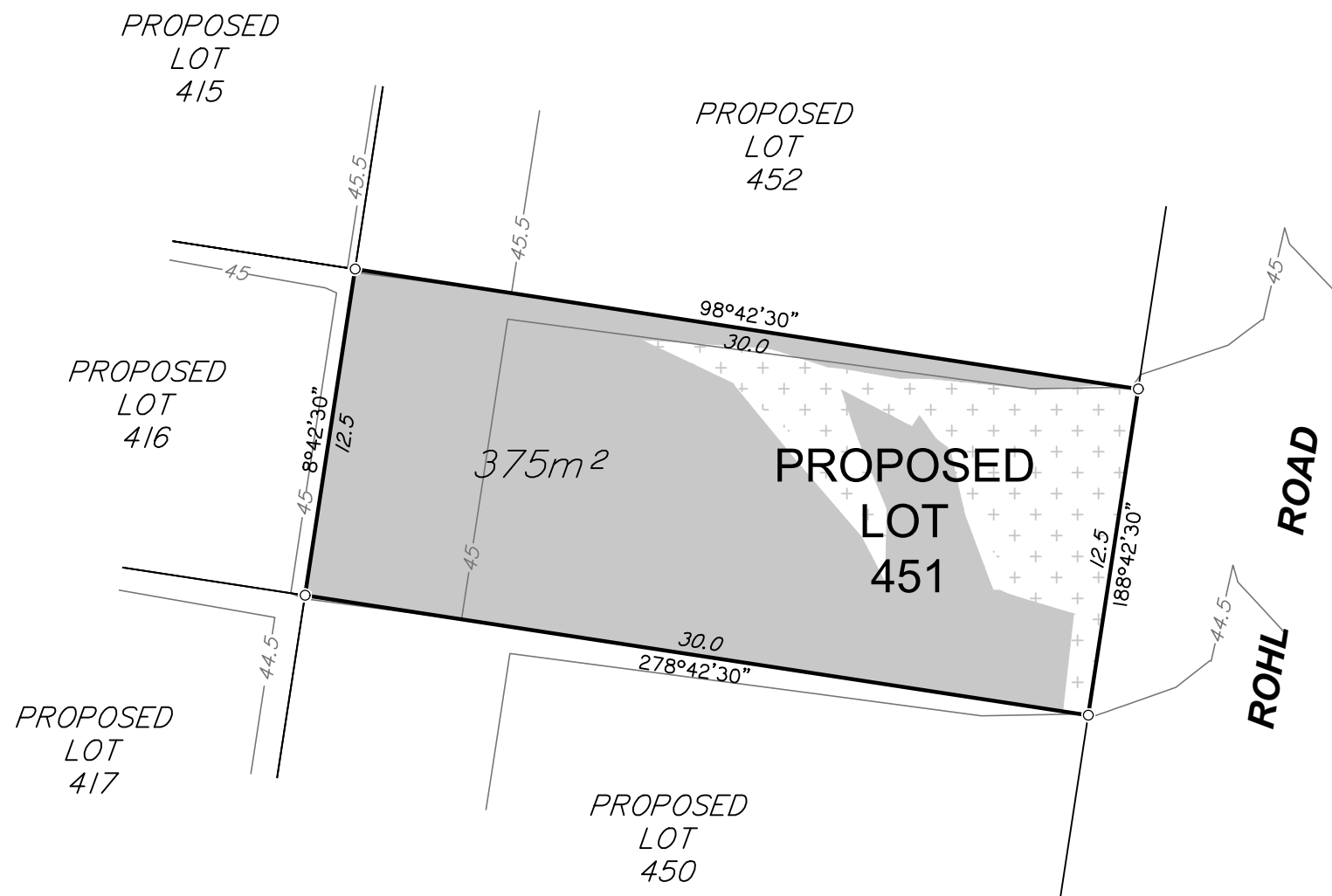
LANDPARTNERS
built environment consultants

Western Corridor Office
Level 6, Springfield Tower
145 Sinnathamby Boulevard
Springfield Central QLD 4300
PO Box 4647
Springfield QLD 4300

t (07) 3470 8100
f (07) 3470 8101
e info@landpartners.com.au
w www.landpartners.com.au

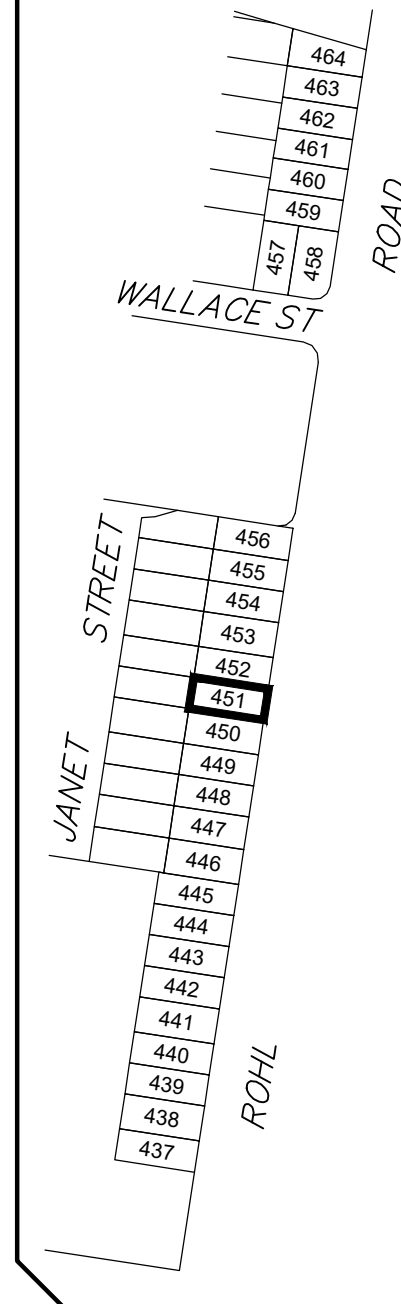


DRAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER	WC007157-05B-16-2
DATE	18/03/2021		



LOCALITY DIAGRAM

NOT TO SCALE



DISCLOSURE PLAN FOR PROPOSED LOT 451

This plan shows:


Details of Proposed Lot 451 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants.

A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SP129274, Lot 2 on RP54767, Lot 1 on SP179238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions.


This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions. Waterlea Nominees Co Pty Ltd recommends using As Constructed information for design purposes.


Engineering details shown hereon were supplied by Calibre on 9th March 2021.

Design surface contours based on AHD D datum at an interval of 0.5m, shown as:  63.5

Where applicable, Easements are shown as: 

Where applicable areas to be filled are shown as: 

Where applicable areas to be cut are shown as: 

Where applicable, Retaining walls are shown as: 

Maximum Fill Depth: 0.7m

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798-2007 and Ipswich City Council Planning Scheme Policy 3 - General Works, Part 4 - Eathworks.

Project:

**WATERLEA
STAGE 5B**

Client:

**WATERLEA
NOMINEES CO
PTY LTD**



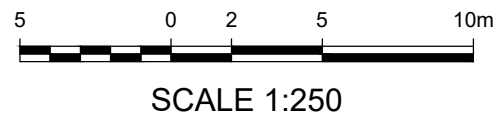
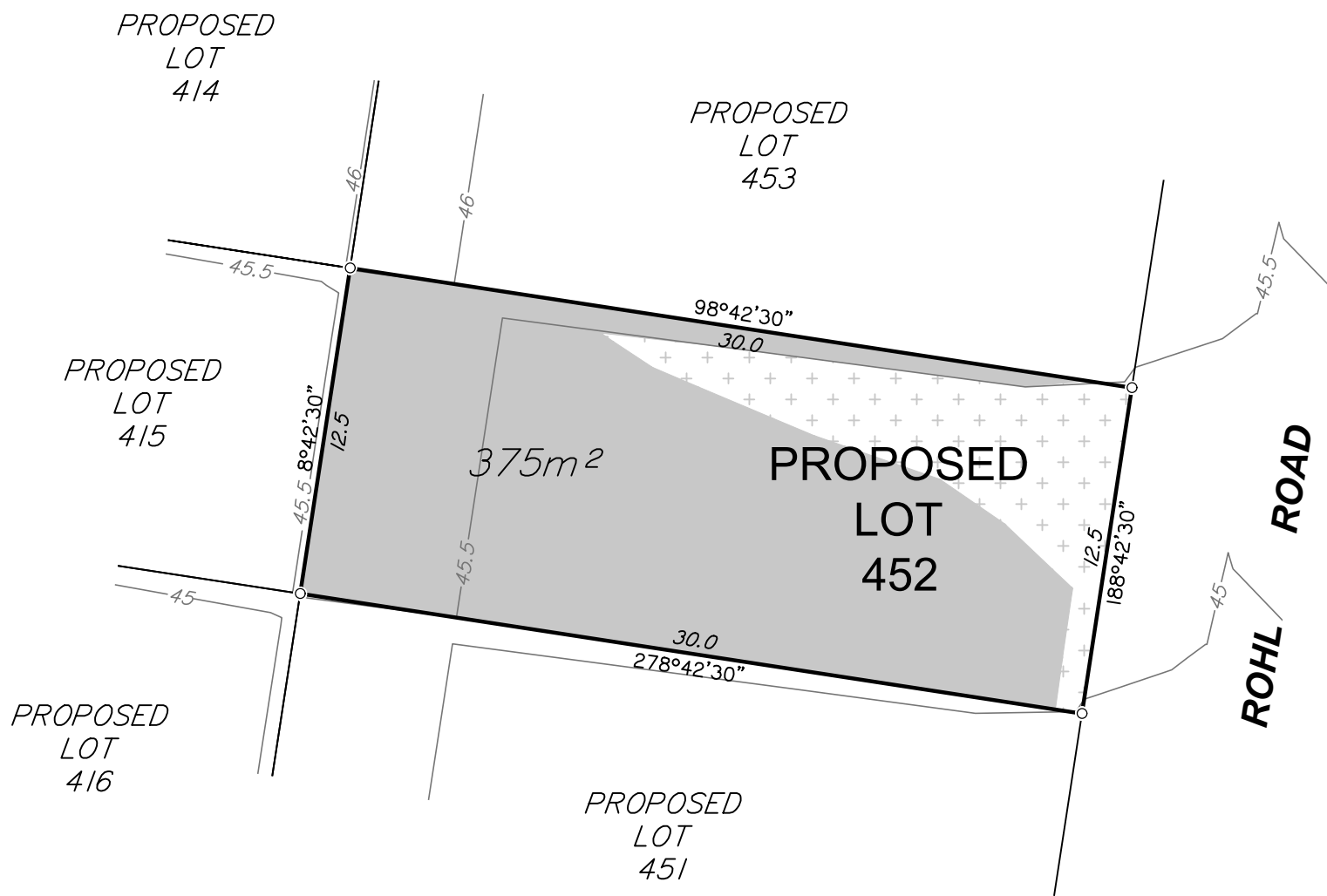
LANDPARTNERS
built environment consultants

Western Corridor Office
Level 6, Springfield Tower
145 Sinnathamby Boulevard
Springfield Central QLD 4300
PO Box 4647
Springfield QLD 4300

t (07) 3470 8100
f (07) 3470 8101
e info@landpartners.com.au
w www.landpartners.com.au

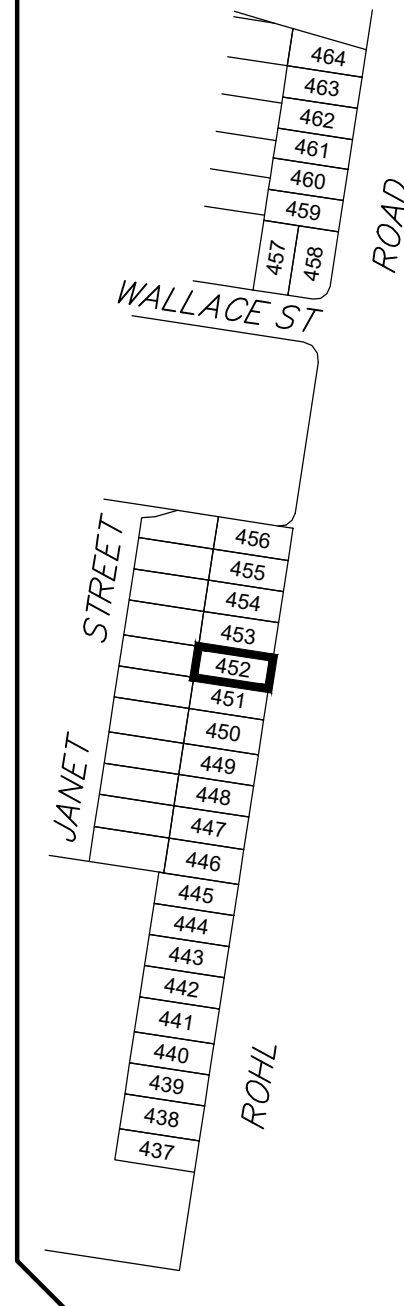


DRAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER	WC007157-05B-17-2
DATE	18/03/2021		



LOCALITY DIAGRAM

NOT TO SCALE



DISCLOSURE PLAN FOR PROPOSED LOT 452

This plan shows:

Details of Proposed Lot 452 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants.

A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SP129274, Lot 2 on RP54767, Lot 1 on SP179238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions.

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions. Waterlea Nominees Co Pty Ltd recommends using As Constructed information for design purposes.

Engineering details shown hereon were supplied by Calibre on 9th March 2021.

Design surface contours based on AHD D datum at an interval of 0.5m, shown as: — 63.5 —

Where applicable, Easements are shown as:

Where applicable areas to be filled are shown as:

Where applicable areas to be cut are shown as:

Where applicable, Retaining walls are shown as:

Maximum Fill Depth: 0.6m

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798-2007 and Ipswich City Council Planning Scheme Policy 3 – General Works, Part 4 – Earthworks.

Project:

**WATERLEA
STAGE 5B**

Client:

**WATERLEA
NOMINEES CO
PTY LTD**

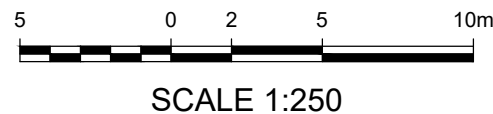
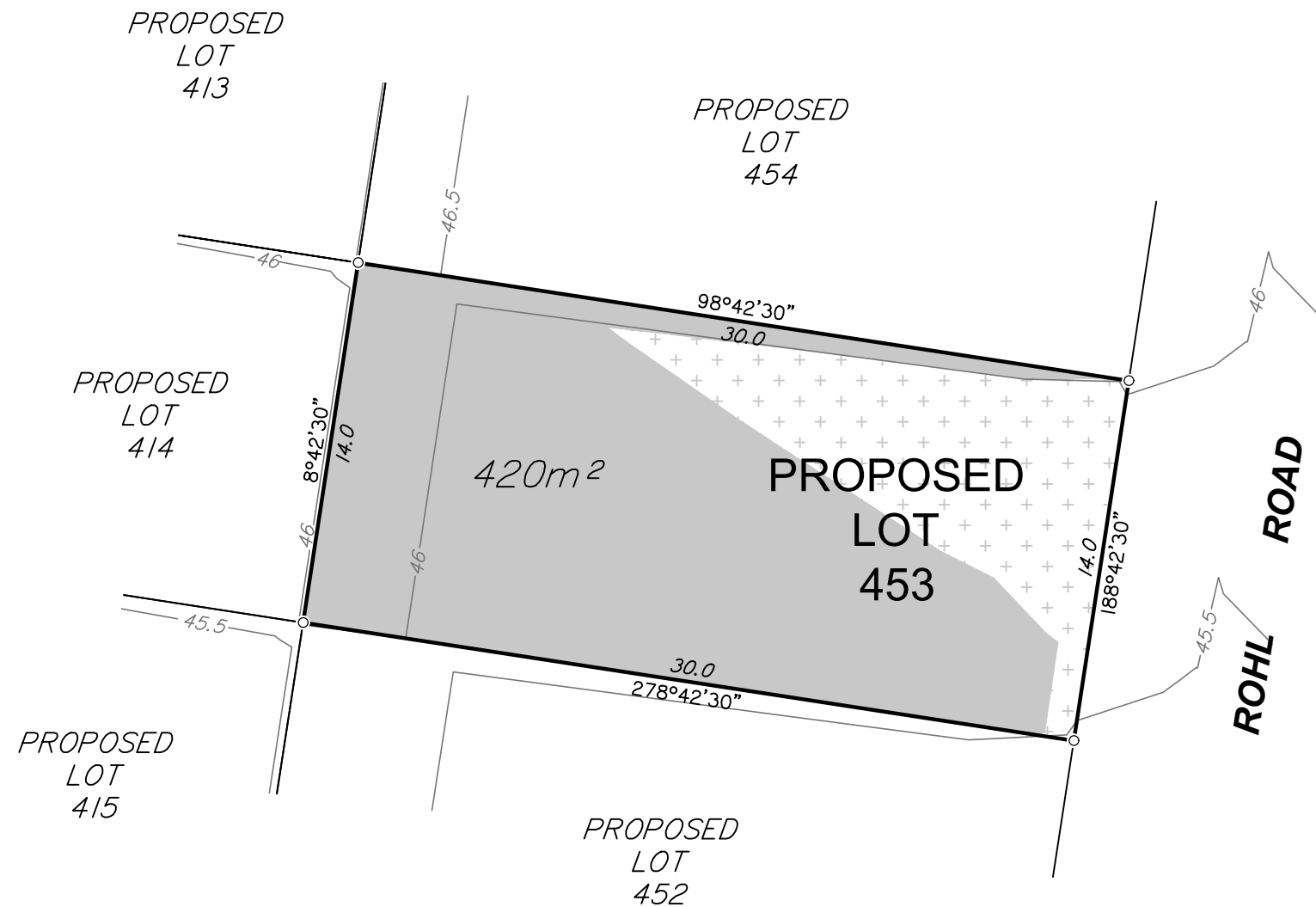


Western Corridor Office
Level 6, Springfield Tower
145 Sinnathamby Boulevard
Springfield Central QLD 4300
PO Box 4647
Springfield QLD 4300

t (07) 3470 8100
f (07) 3470 8101
e info@landpartners.com.au
w www.landpartners.com.au

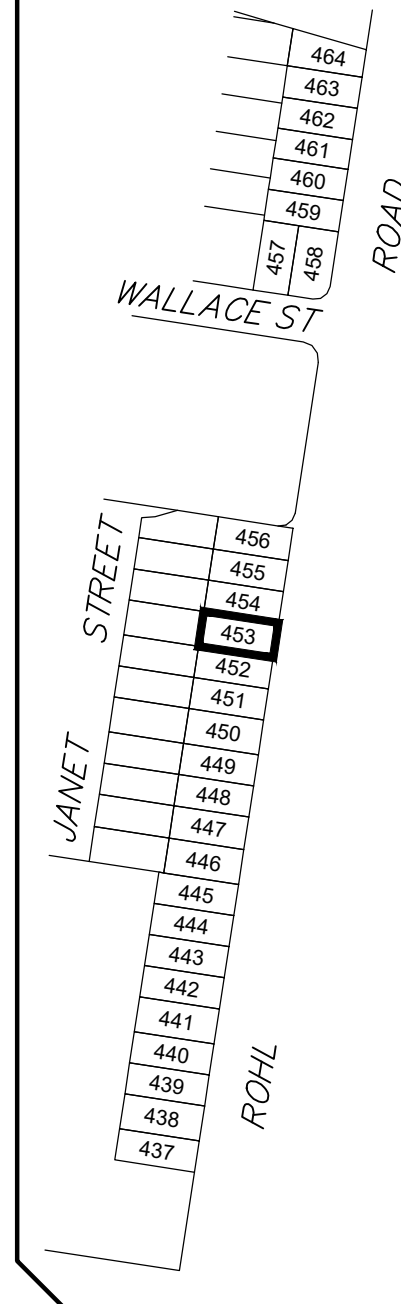


DRAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER	WC007157-05B-18-2
DATE	18/03/2021		



LOCALITY DIAGRAM

NOT TO SCALE



DISCLOSURE PLAN FOR PROPOSED LOT 453

This plan shows:
Details of Proposed Lot 453 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants.
A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SP129274, Lot 2 on RP54767, Lot 1 on SP179238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions.
This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions. Waterlea Nominees Co Pty Ltd recommends using As Constructed information for design purposes.

Engineering details shown hereon were supplied by Calibre on 9th March 2021.

Design surface contours based on AHD D datum at an interval of 0.5m, shown as:

Where applicable, Easements are shown as:

Where applicable areas to be filled are shown as:

Where applicable areas to be cut are shown as:

Where applicable, Retaining walls are shown as:

Maximum Fill Depth: 0.6m

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798-2007 and Ipswich City Council Planning Scheme Policy 3 - General Works, Part 4 - Eathworks.

Project:	Client:
WATERLEA STAGE 5B	WATERLEA NOMINEES CO PTY LTD





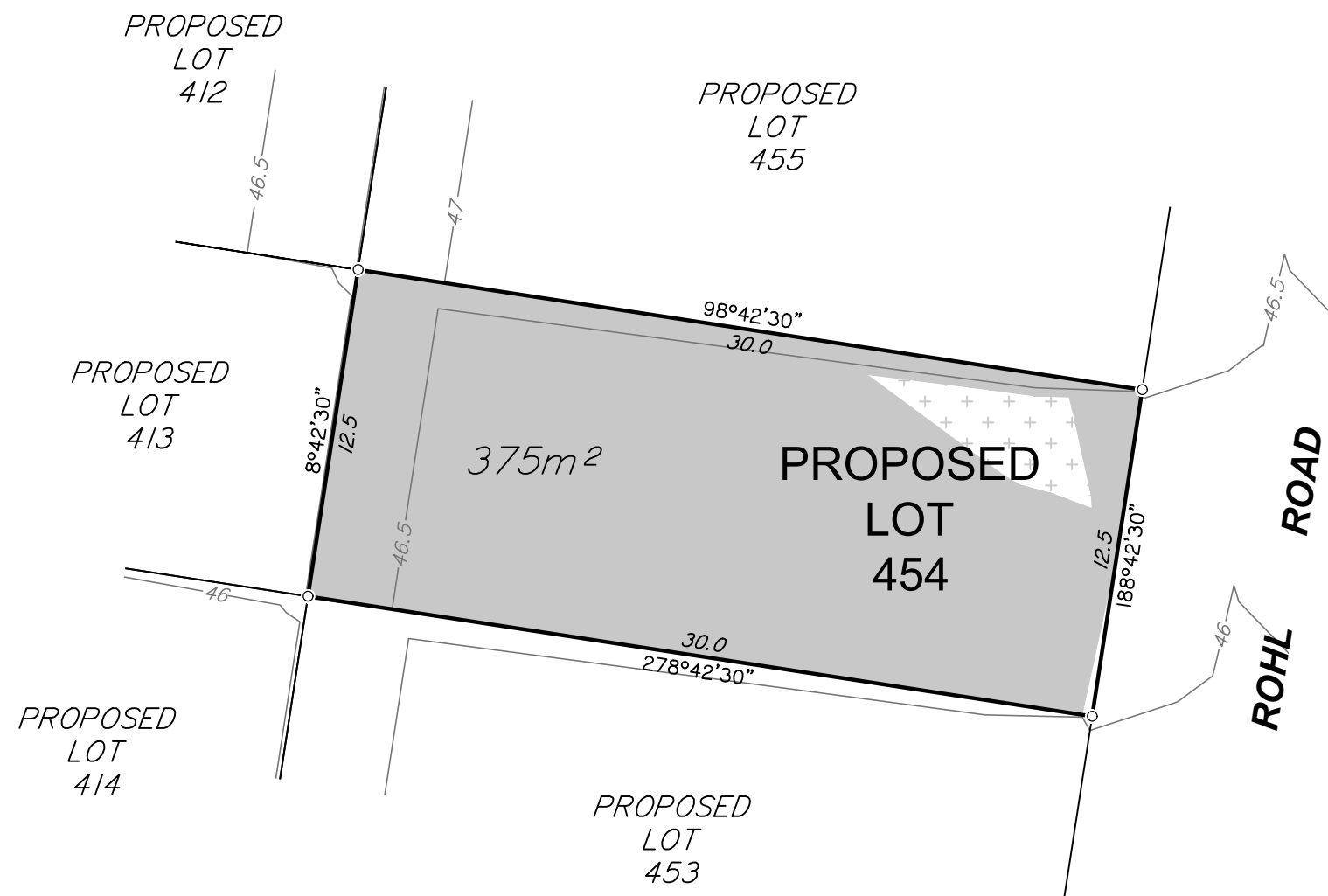
Western Corridor Office
Level 6, Springfield Tower
145 Sinnathamby Boulevard
Springfield Central QLD 4300
PO Box 4647
Springfield QLD 4300

LANDPARTNERS
built environment consultants

t (07) 3470 8100
f (07) 3470 8101
e info@landpartners.com.au
w www.landpartners.com.au

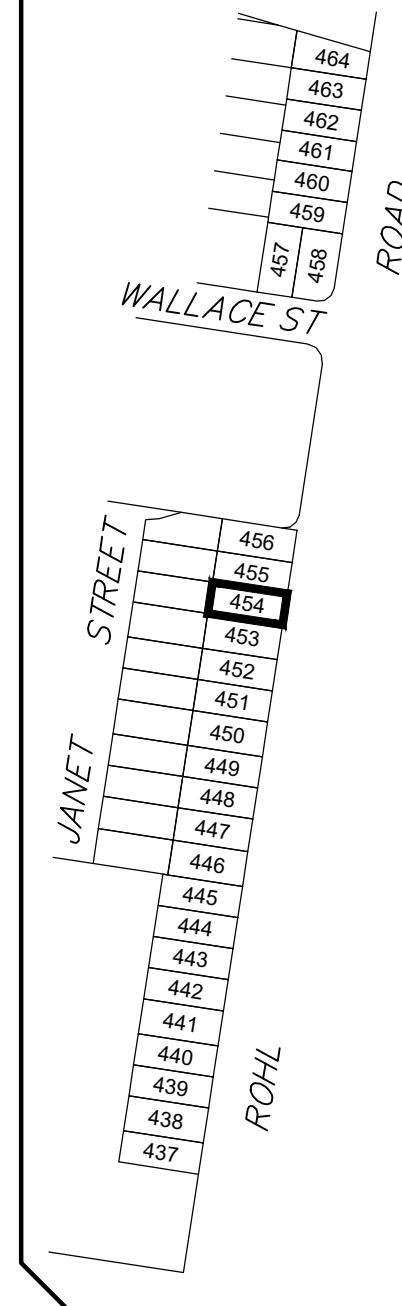


DRAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER	WC007157-05B-19-2
DATE	18/03/2021		



LOCALITY DIAGRAM

NOT TO SCALE





DISCLOSURE PLAN FOR PROPOSED LOT 454

This plan shows:
Details of Proposed Lot 454 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants.
A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SPI29274, Lot 2 on RP54767, Lot 1 on SPI79238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions.


This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions. Waterlea Nominees Co Pty Ltd recommends using As Constructed information for design purposes.

Engineering details shown hereon were supplied by Calibre on 9th March 2021.

Design surface contours based on AHD datum at an interval of 0.5m, shown as:  63.5

Where applicable, Easements are shown as: 

Where applicable areas to be filled are shown as: 

Where applicable areas to be cut are shown as: 

Where applicable, Retaining walls are shown as: 

Maximum Fill Depth: 0.8m

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798-2007 and Ipswich City Council Planning Scheme Policy 3 - General Works, Part 4 - Eathworks.

Project:
**WATERLEA
STAGE 5B**

Client:
**WATERLEA
NOMINEES CO
PTY LTD**



Western Corridor Office
Level 6, Springfield Tower
145 Sinnathamby Boulevard
Springfield Central QLD 4300
PO Box 4647
Springfield QLD 4300

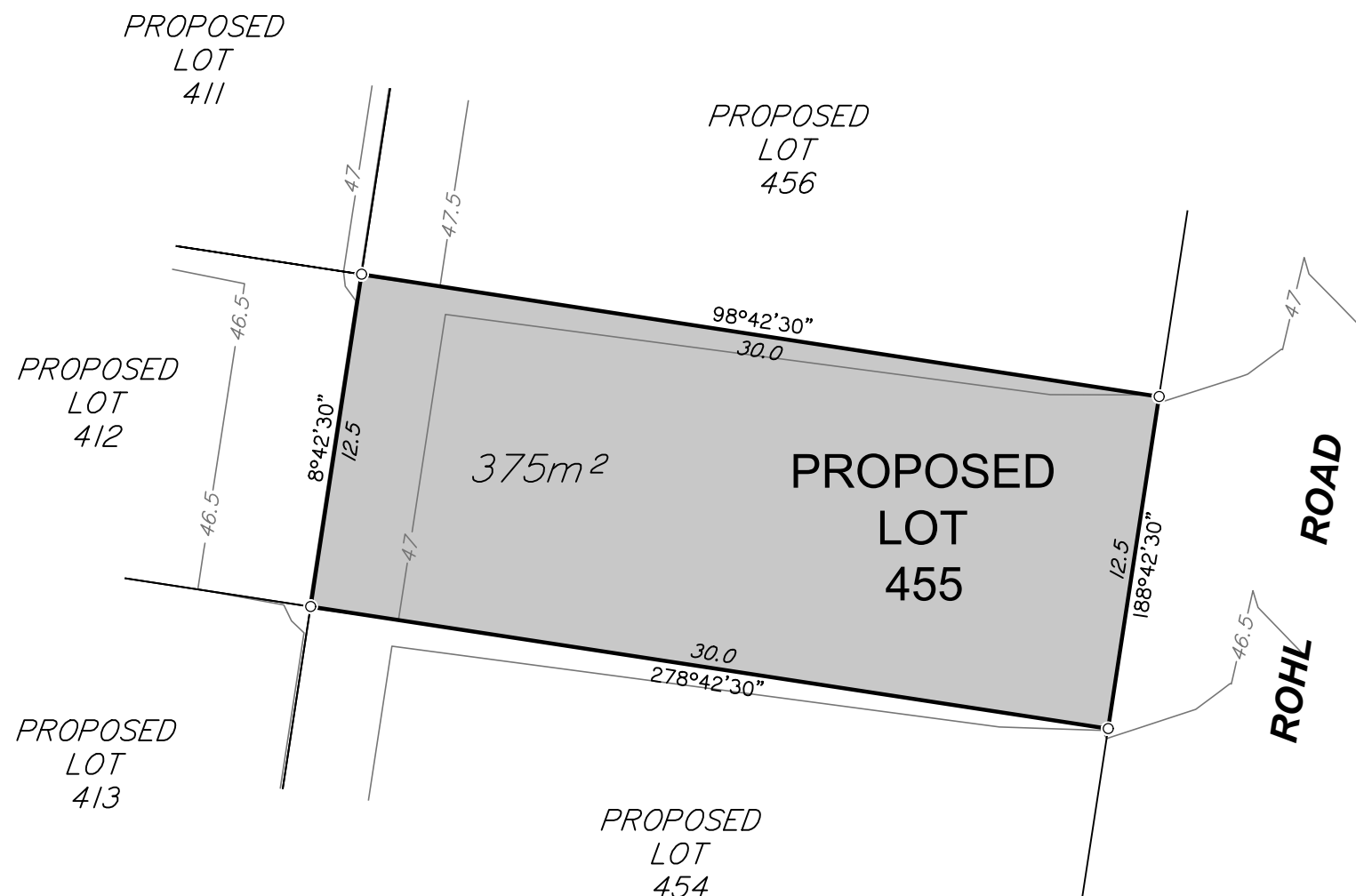
t (07) 3470 8100
f (07) 3470 8101
e info@landpartners.com.au
w www.landpartners.com.au



DRAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER WC007157-05B-20-2	
DATE	18/03/2021		

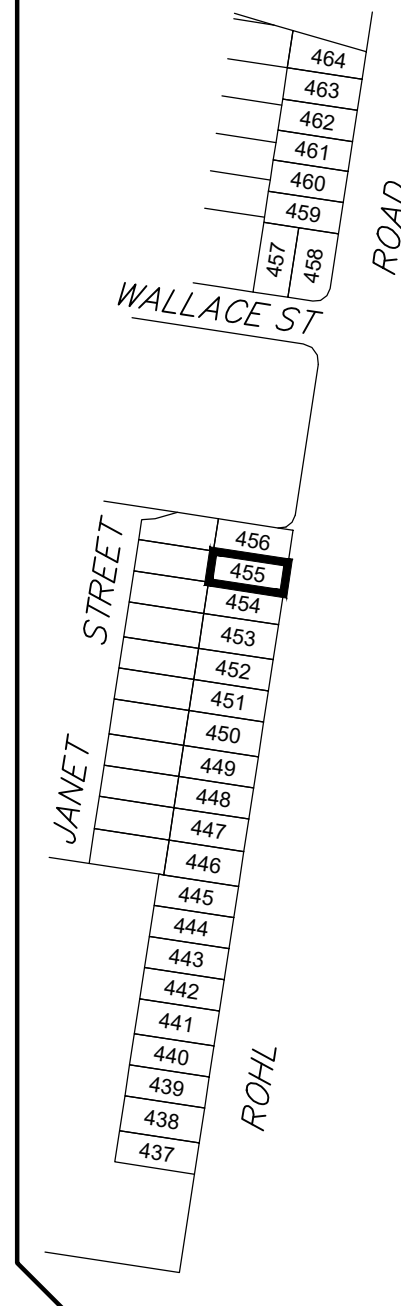


SCALE 1:250



LOCALITY DIAGRAM

NOT TO SCALE




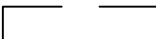
DISCLOSURE PLAN FOR PROPOSED LOT 455

This plan shows:
Details of Proposed Lot 455 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants.
A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SPI29274, Lot 2 on RP54767, Lot 1 on SPI79238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions.


This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions. Waterlea Nominees Co Pty Ltd recommends using As Constructed information for design purposes.


Engineering details shown hereon were supplied by Calibre on 9th March 2021.

Design surface contours based on AHD D datum at an interval of 0.5m, shown as:  63.5

Where applicable, Easements are shown as: 

Where applicable areas to be filled are shown as: 

Where applicable areas to be cut are shown as: 

Where applicable, Retaining walls are shown as: 

Maximum Fill Depth: 0.9m

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798-2007 and Ipswich City Council Planning Scheme Policy 3 – General Works, Part 4 – Eathworks.

Project:
**WATERLEA
STAGE 5B**

Client:
**WATERLEA
NOMINEES CO
PTY LTD**



LANDPARTNERS
built environment consultants

Western Corridor Office
Level 6, Springfield Tower
145 Sinnathamby Boulevard
Springfield Central QLD 4300
PO Box 4647
Springfield QLD 4300

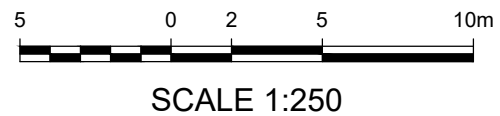
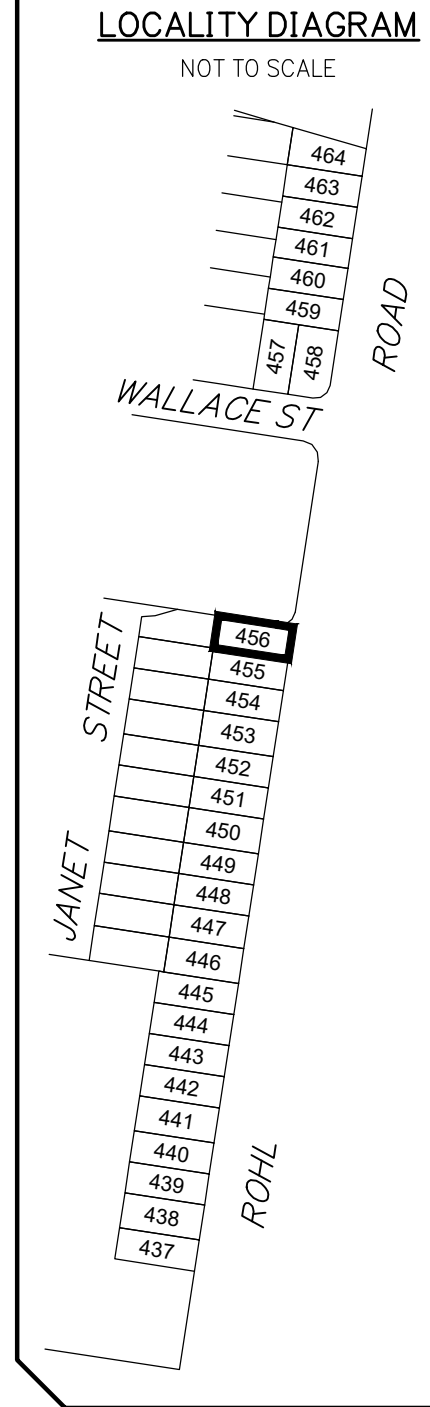
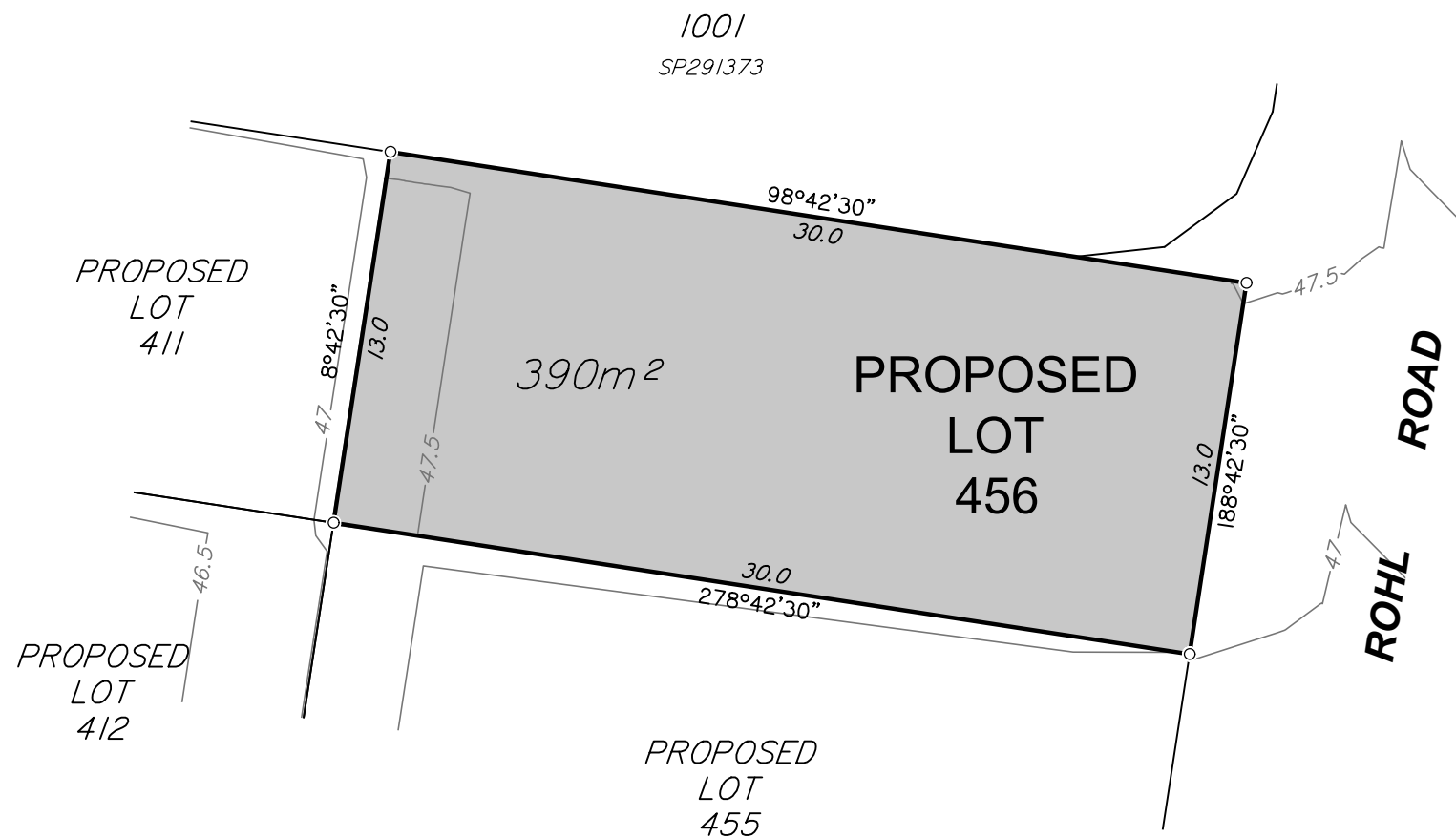
t (07) 3470 8100
f (07) 3470 8101
e info@landpartners.com.au
w www.landpartners.com.au



DRAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER WC007157-05B-21-2	
DATE	18/03/2021		



SCALE 1:250




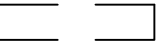
DISCLOSURE PLAN FOR PROPOSED LOT 456


This plan shows:
Details of Proposed Lot 456 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants.
A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SPI29274, Lot 2 on RP54767, Lot 1 on SPI79238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions.

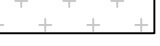
This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions. Waterlea Nominees Co Pty Ltd recommends using As Constructed information for design purposes.


Engineering details shown hereon were supplied by Calibre on 9th March 2021.

Design surface contours based on AHD D datum at an interval of 0.5m, shown as:  63.5

Where applicable, Easements are shown as: 

Where applicable areas to be filled are shown as: 

Where applicable areas to be cut are shown as: 

Where applicable, Retaining walls are shown as: 

Maximum Fill Depth: 0.9m

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798-2007 and Ipswich City Council Planning Scheme Policy 3 – General Works, Part 4 – Eathworks.

Project:	Client:
WATERLEA STAGE 5B	WATERLEA NOMINEES CO PTY LTD





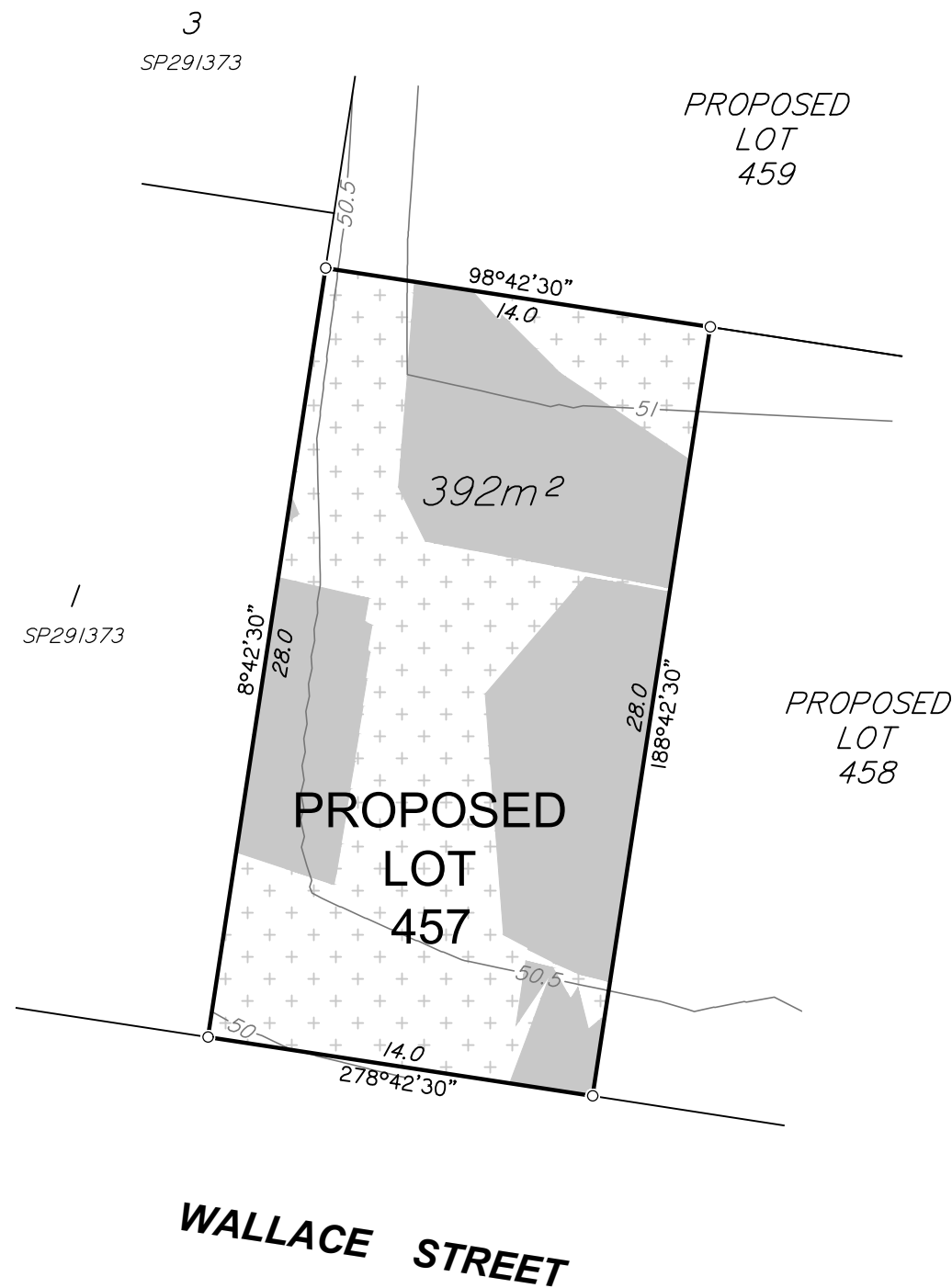
LANDPARTNERS
built environment consultants

Western Corridor Office
Level 6, Springfield Tower
145 Sinnathamby Boulevard
Springfield Central QLD 4300
PO Box 4647
Springfield QLD 4300

t (07) 3470 8100
f (07) 3470 8101
e info@landpartners.com.au
w www.landpartners.com.au

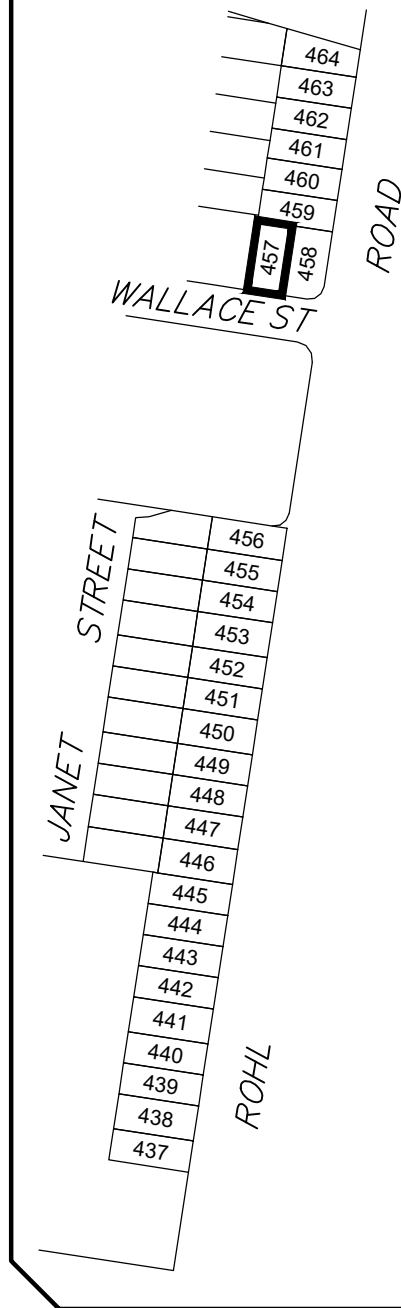


DRAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER WC007157-05B-22-2	
DATE	18/03/2021		



LOCALITY DIAGRAM

NOT TO SCALE





DISCLOSURE PLAN FOR PROPOSED LOT 457

This plan shows:
Details of Proposed Lot 457 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants.
A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SP129274, Lot 2 on RP54767, Lot 1 on SP179238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions.


This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions. Waterlea Nominees Co Pty Ltd recommends using As Constructed information for design purposes.


Engineering details shown hereon were supplied by Calibre on 9th March 2021.

Design surface contours based on AHD D datum at an interval of 0.5m, shown as:  63.5

Where applicable, Easements are shown as: 

Where applicable areas to be filled are shown as: 

Where applicable areas to be cut are shown as: 

Where applicable, Retaining walls are shown as: 

Maximum Fill Depth: 0.1m

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798-2007 and Ipswich City Council Planning Scheme Policy 3 – General Works, Part 4 – Eathworks.

Project:
**WATERLEA
STAGE 5B**

Client:
**WATERLEA
NOMINEES CO
PTY LTD**

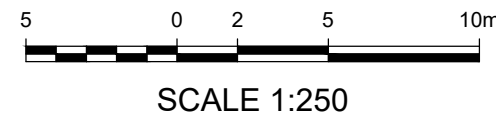


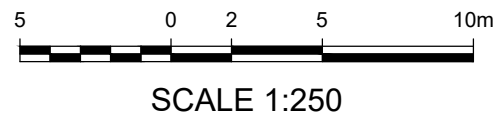
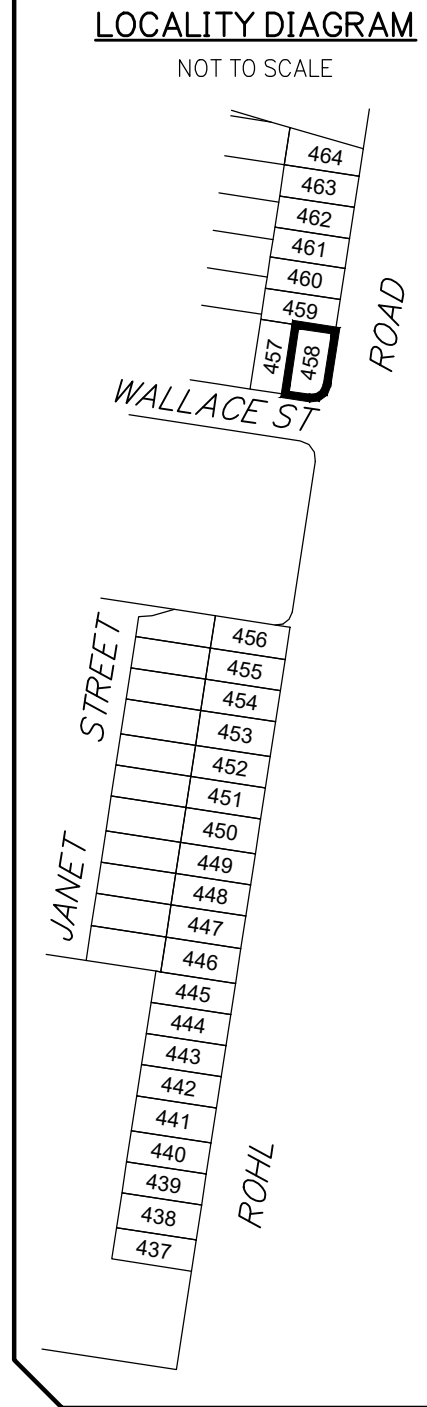
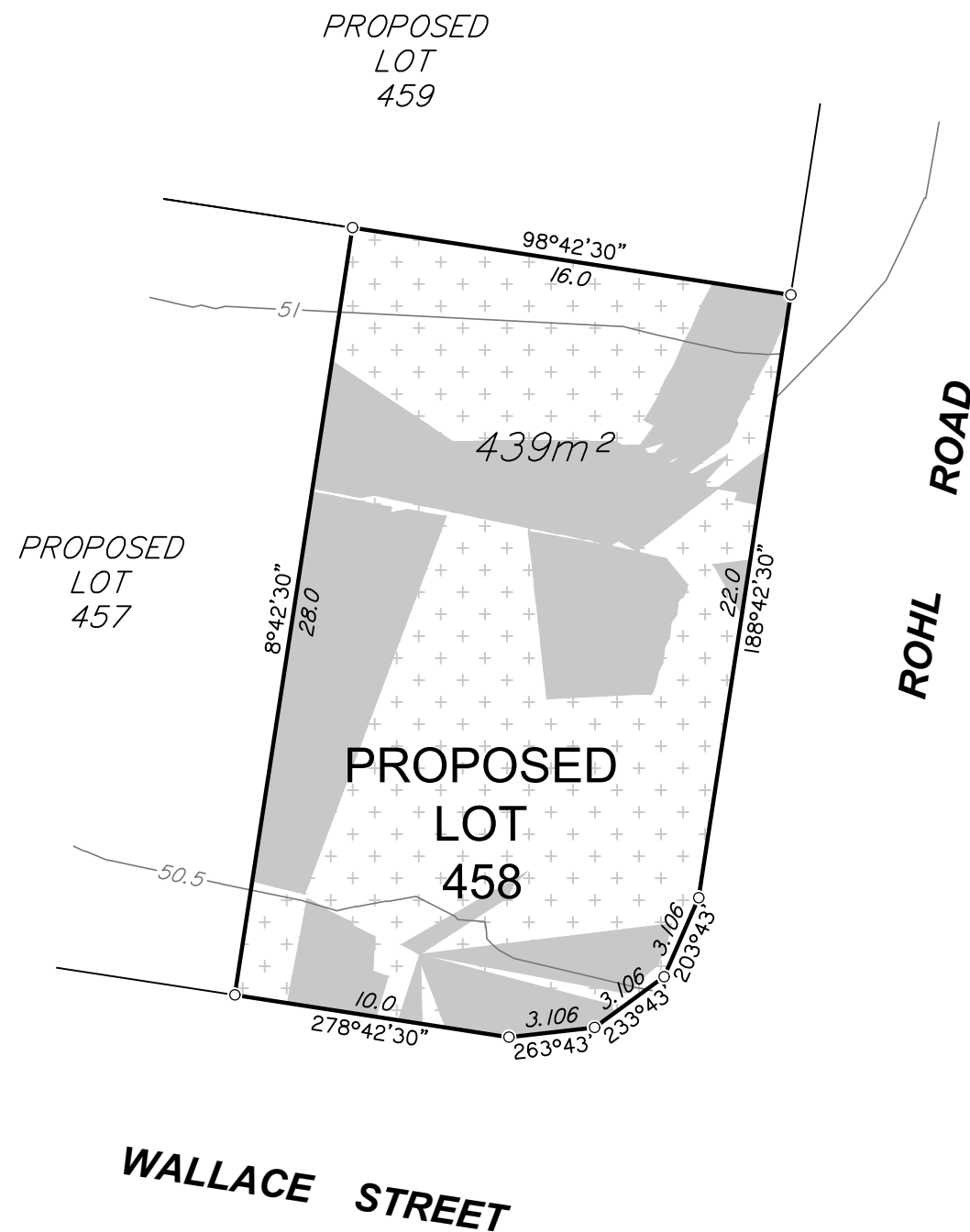
Western Corridor Office
Level 6, Springfield Tower
145 Sinnathamby Boulevard
Springfield Central QLD 4300
PO Box 4647
Springfield QLD 4300

t (07) 3470 8100
f (07) 3470 8101
e info@landpartners.com.au
w www.landpartners.com.au



DRAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER WC007157-05B-23-2	
DATE	18/03/2021		





DISCLOSURE PLAN FOR PROPOSED LOT 458

This plan shows:
Details of Proposed Lot 458 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants.
A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SPI29274, Lot 2 on RP54767, Lot 1 on SPI79238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions.
This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions. Waterlea Nominees Co Pty Ltd recommends using As Constructed information for design purposes.

Engineering details shown hereon were supplied by Calibre on 9th March 2021.

Design surface contours based on AHD D datum at an interval of 0.5m, shown as: 63.5

Where applicable, Easements are shown as:

Where applicable areas to be filled are shown as:

Where applicable areas to be cut are shown as:

Where applicable, Retaining walls are shown as:

Maximum Fill Depth: 0.05m

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798-2007 and Ipswich City Council Planning Scheme Policy 3 – General Works, Part 4 – Eathworks.

Project:	Client:
WATERLEA STAGE 5B	WATERLEA NOMINEES CO PTY LTD





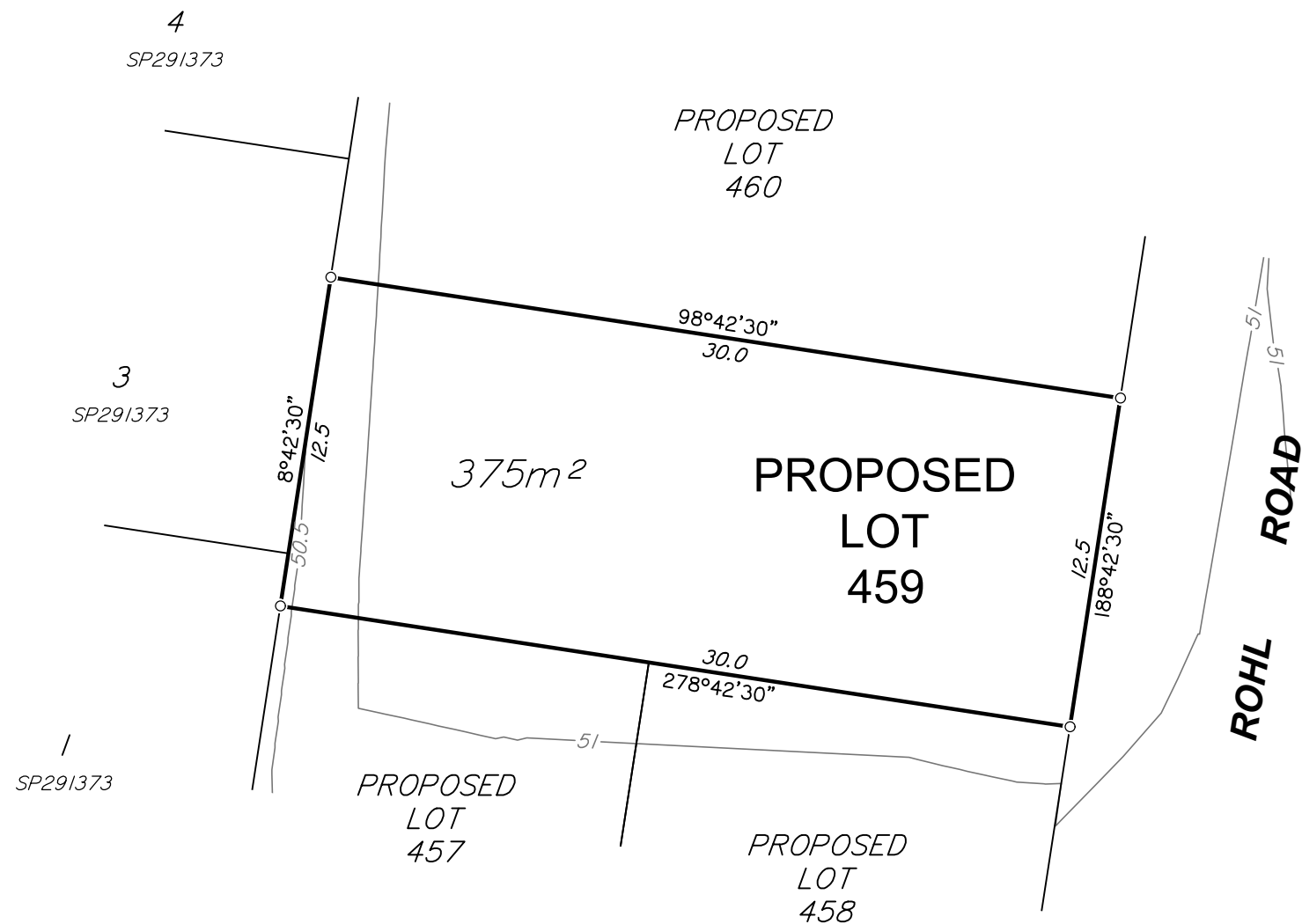
LANDPARTNERS
built environment consultants

Western Corridor Office
Level 6, Springfield Tower
145 Sinnathamby Boulevard
Springfield Central QLD 4300
PO Box 4647
Springfield QLD 4300

t (07) 3470 8100
f (07) 3470 8101
e info@landpartners.com.au
w www.landpartners.com.au

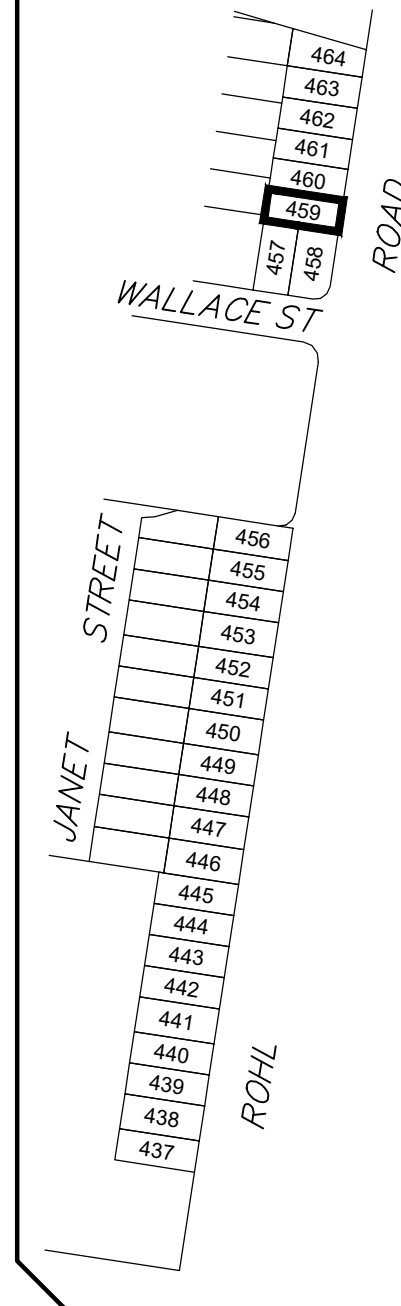


DRAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER WC007157-05B-24-2	
DATE	18/03/2021		



LOCALITY DIAGRAM


NOT TO SCALE

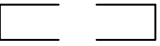



DISCLOSURE PLAN FOR PROPOSED LOT 459

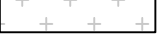
This plan shows:
Details of Proposed Lot 459 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants.
A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SP129274, Lot 2 on RP54767, Lot 1 on SP179238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions.
This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions. Waterlea Nominees Co Pty Ltd recommends using As Constructed information for design purposes.


Engineering details shown hereon were supplied by Calibre on 9th March 2021.

Design surface contours based on AHD D datum at an interval of 0.5m, shown as:  63.5

Where applicable, Easements are shown as: 

Where applicable areas to be filled are shown as: 

Where applicable areas to be cut are shown as: 

Where applicable, Retaining walls are shown as: 

Maximum Fill Depth: N/A

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798-2007 and Ipswich City Council Planning Scheme Policy 3 – General Works, Part 4 – Eathworks.

Project:	Client:
WATERLEA STAGE 5B	WATERLEA NOMINEES CO PTY LTD





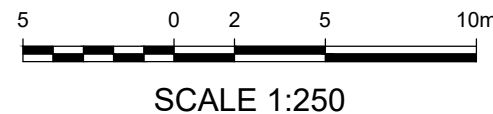
LANDPARTNERS
built environment consultants

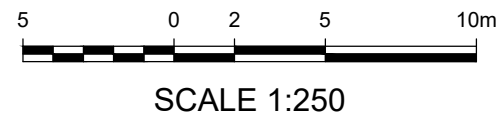
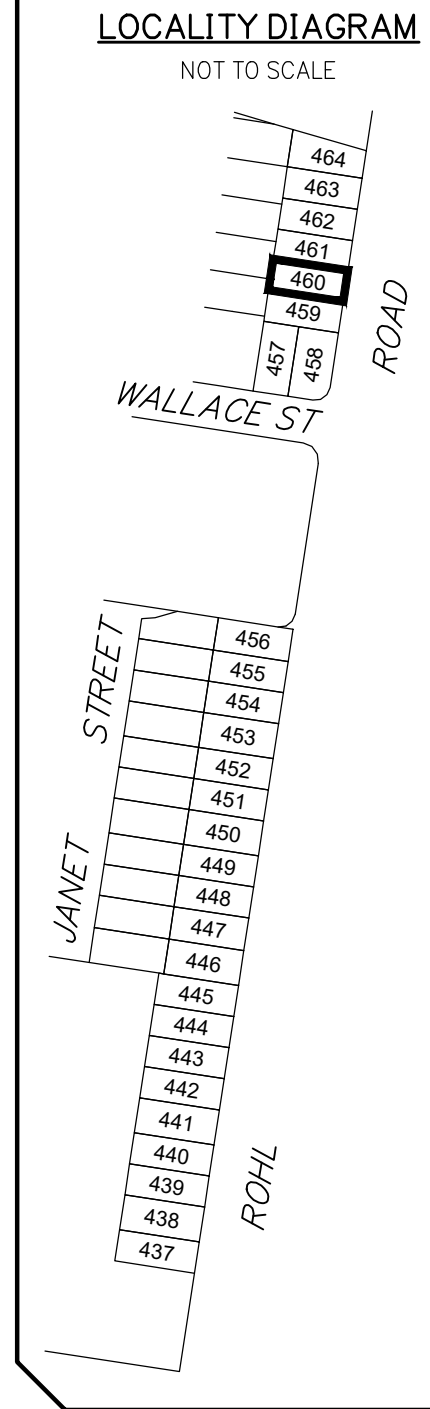
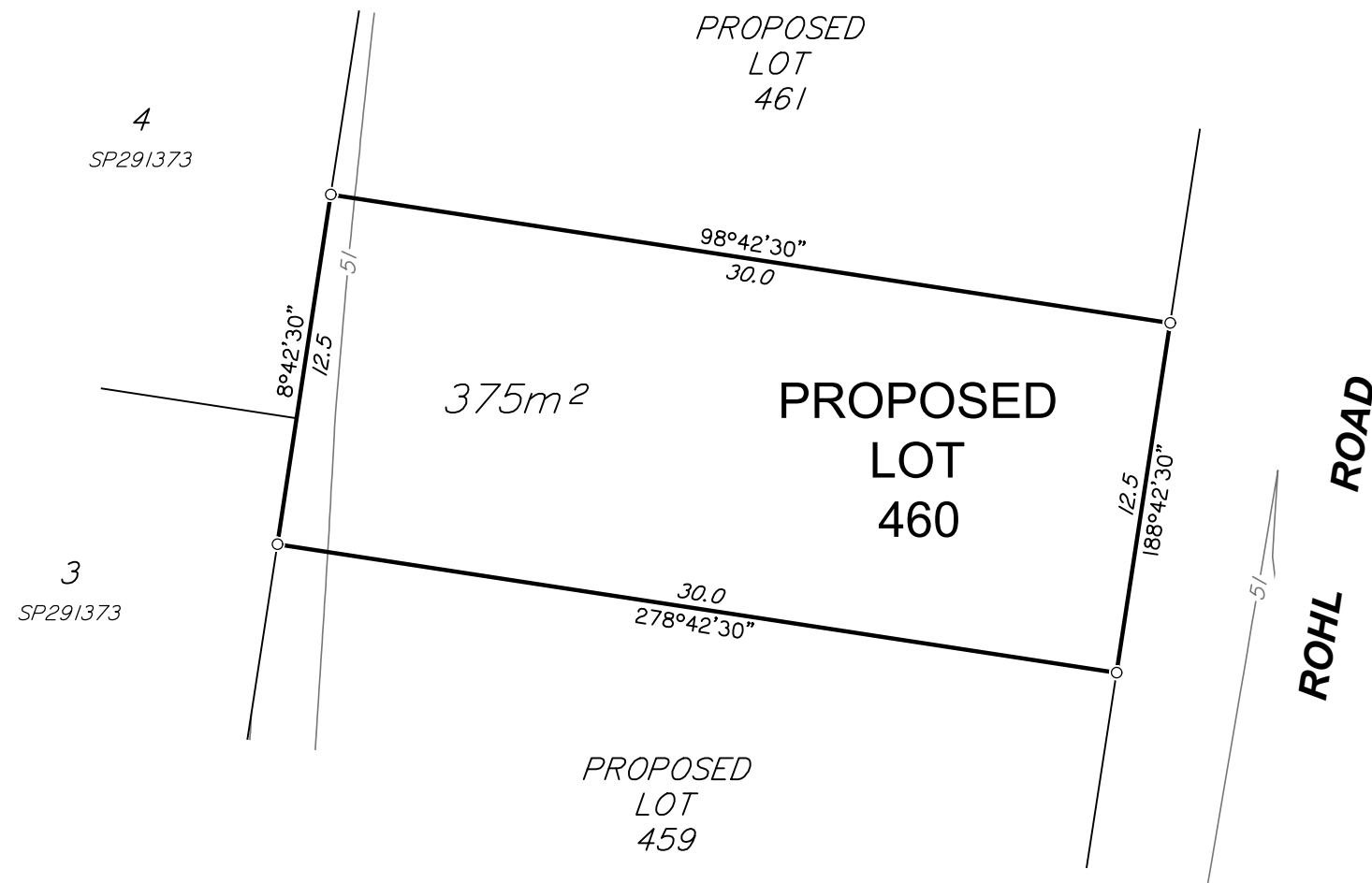
Western Corridor Office
Level 6, Springfield Tower
145 Sinnathamby Boulevard
Springfield Central QLD 4300
PO Box 4647
Springfield QLD 4300

t (07) 3470 8100
f (07) 3470 8101
e info@landpartners.com.au
w www.landpartners.com.au



DRAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER WC007157-05B-25-2	
DATE	18/03/2021		







DISCLOSURE PLAN FOR PROPOSED LOT 460

This plan shows:
Details of Proposed Lot 460 on the Reconfiguration Plan 07I5-0430-00-15-D005-02, Rev 06 by Tract Consultants.
A Change to a Reconfiguration of a Lot application, being application number I0028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SPI29274, Lot 2 on RP54767, Lot 1 on SPI79238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions.


This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions. Waterlea Nominees Co Pty Ltd recommends using As Constructed information for design purposes.

Engineering details shown hereon were supplied by Calibre on 9th March 2021.

Design surface contours based on AHD D datum at an interval of 0.5m, shown as:  63.5

Where applicable, Easements are shown as: 

Where applicable areas to be filled are shown as: 

Where applicable areas to be cut are shown as: 

Where applicable, Retaining walls are shown as: 

Maximum Fill Depth: N/A

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798-2007 and Ipswich City Council Planning Scheme Policy 3 – General Works, Part 4 – Eathworks.

Project:
**WATERLEA
STAGE 5B**

Client:
**WATERLEA
NOMINEES CO
PTY LTD**

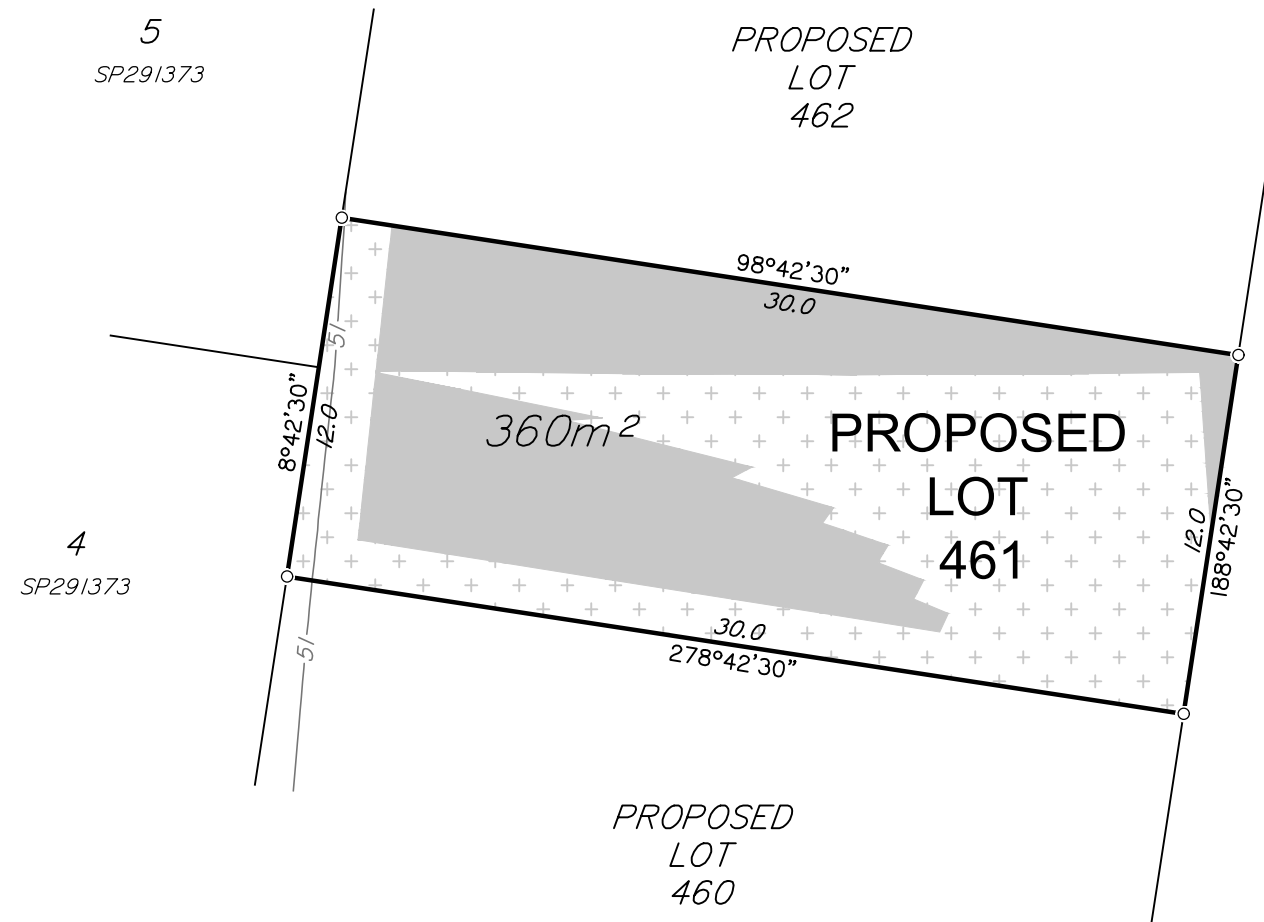


Western Corridor Office
Level 6, Springfield Tower
145 Sinnathamby Boulevard
Springfield Central QLD 4300
PO Box 4647
Springfield QLD 4300

t (07) 3470 8100
f (07) 3470 8101
e info@landpartners.com.au
w www.landpartners.com.au



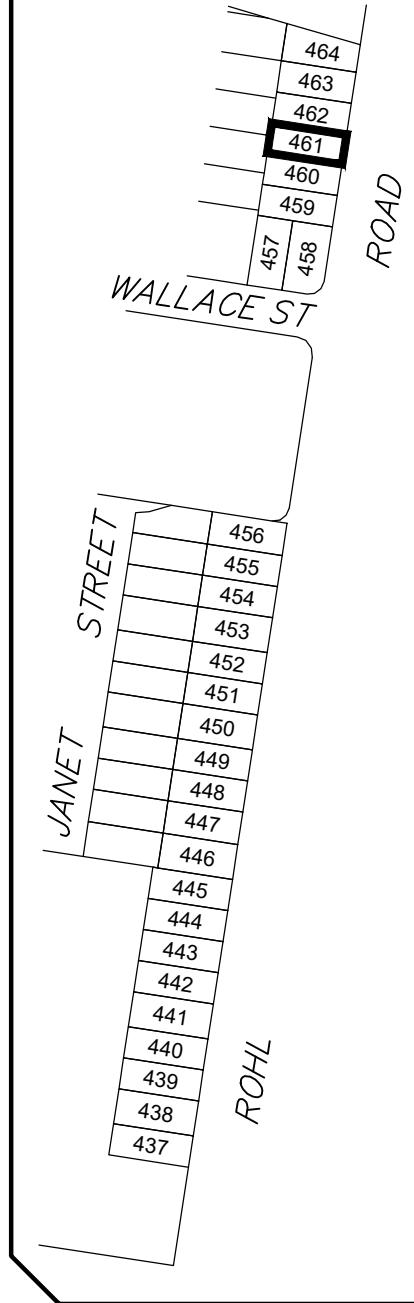
DRAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER WC007157-05B-26-2	
DATE	18/03/2021		



ROHL ROAD

LOCALITY DIAGRAM

NOT TO SCALE





DISCLOSURE PLAN FOR PROPOSED LOT 461

This plan shows:
Details of Proposed Lot 461 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants.
A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SP129274, Lot 2 on RP54767, Lot 1 on SP179238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions.

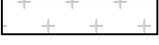
This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions. Waterlea Nominees Co Pty Ltd recommends using As Constructed information for design purposes.


Engineering details shown hereon were supplied by Calibre on 9th March 2021.

Design surface contours based on AHD D datum at an interval of 0.5m, shown as:  63.5

Where applicable, Easements are shown as: 

Where applicable areas to be filled are shown as: 

Where applicable areas to be cut are shown as: 

Where applicable, Retaining walls are shown as: 

Maximum Fill Depth: 0.02m

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798-2007 and Ipswich City Council Planning Scheme Policy 3 – General Works, Part 4 – Eathworks.

Project:
**WATERLEA
STAGE 5B**

Client:
**WATERLEA
NOMINEES CO
PTY LTD**

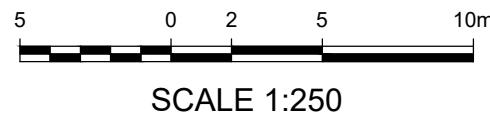


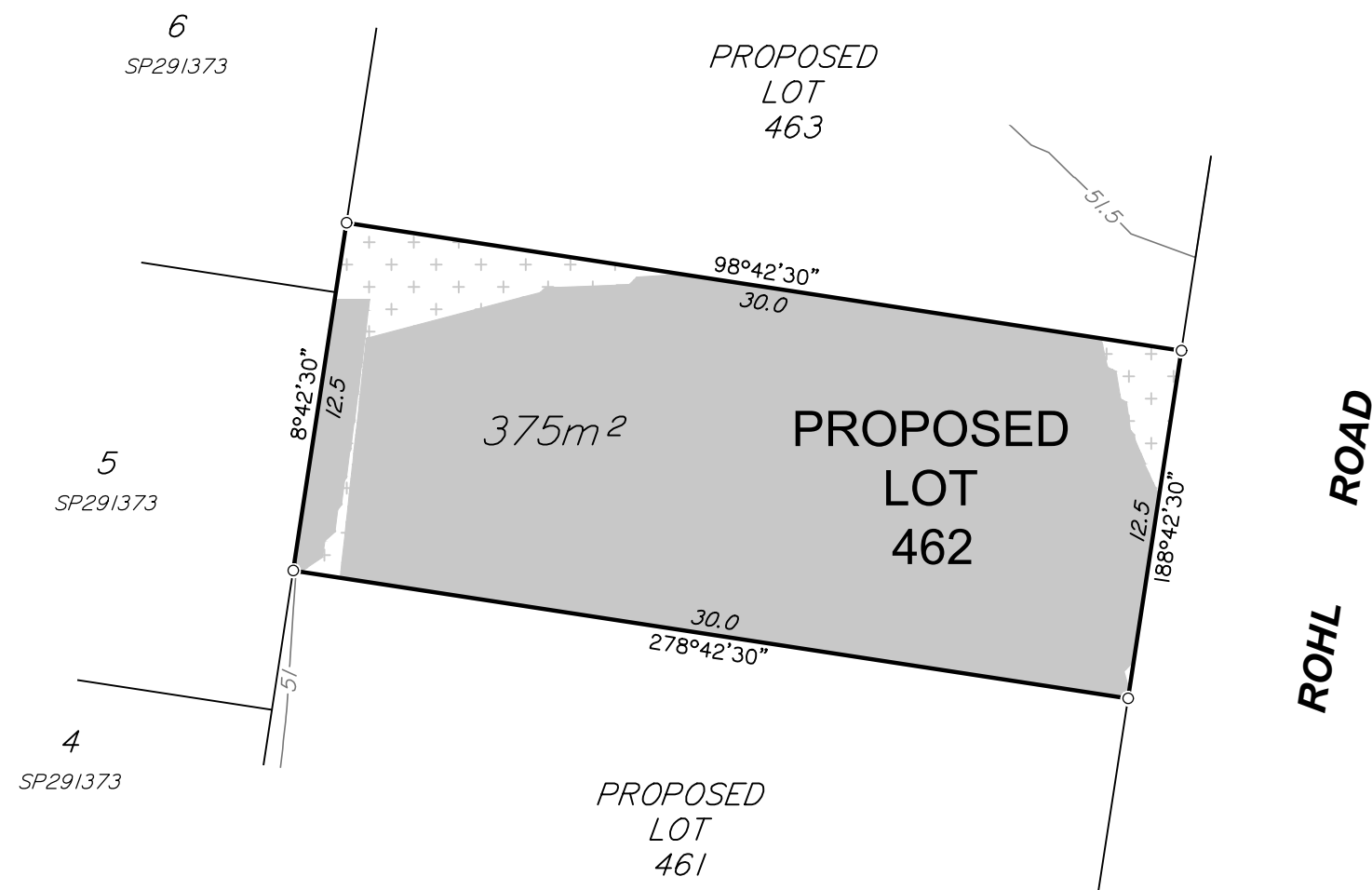
Western Corridor Office
Level 6, Springfield Tower
145 Sinnathamby Boulevard
Springfield Central QLD 4300
PO Box 4647
Springfield QLD 4300

t (07) 3470 8100
f (07) 3470 8101
e info@landpartners.com.au
w www.landpartners.com.au



DRAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER WC007157-05B-27-2	
DATE	18/03/2021		

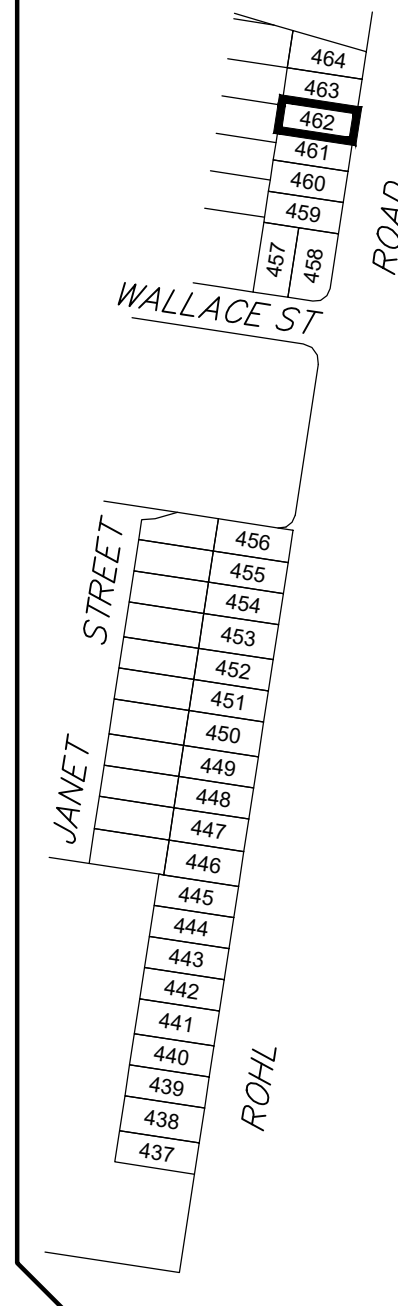




ROHL ROAD

LOCALITY DIAGRAM

NOT TO SCALE




DISCLOSURE PLAN FOR PROPOSED LOT 462

This plan shows:
Details of Proposed Lot 462 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants.
A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SPI29274, Lot 2 on RP54767, Lot 1 on SPI79238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions.


This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions. Waterlea Nominees Co Pty Ltd recommends using As Constructed information for design purposes.


Engineering details shown hereon were supplied by Calibre on 9th March 2021.

Design surface contours based on AHD datum at an interval of 0.5m, shown as:  63.5

Where applicable, Easements are shown as: 

Where applicable areas to be filled are shown as: 

Where applicable areas to be cut are shown as: 

Where applicable, Retaining walls are shown as: 

Maximum Fill Depth: 0.1m

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798-2007 and Ipswich City Council Planning Scheme Policy 3 - General Works, Part 4 - Eathworks.

Project:
**WATERLEA
STAGE 5B**

Client:
**WATERLEA
NOMINEES CO
PTY LTD**



Western Corridor Office
Level 6, Springfield Tower
145 Sinnathamby Boulevard
Springfield Central QLD 4300
PO Box 4647
Springfield QLD 4300

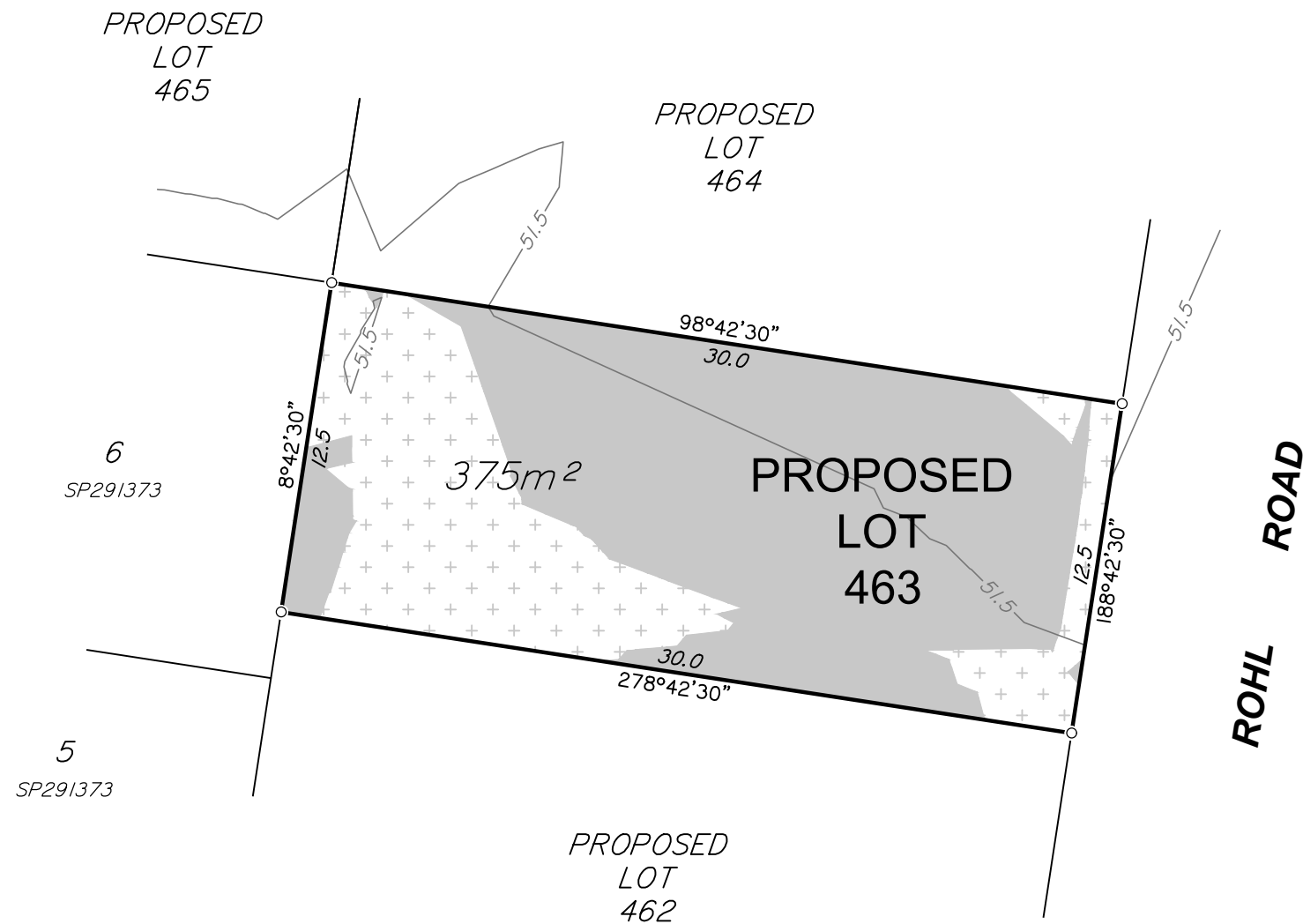
t (07) 3470 8100
f (07) 3470 8101
e info@landpartners.com.au
w www.landpartners.com.au



DRAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER WC007157-05B-28-2	
DATE	18/03/2021		

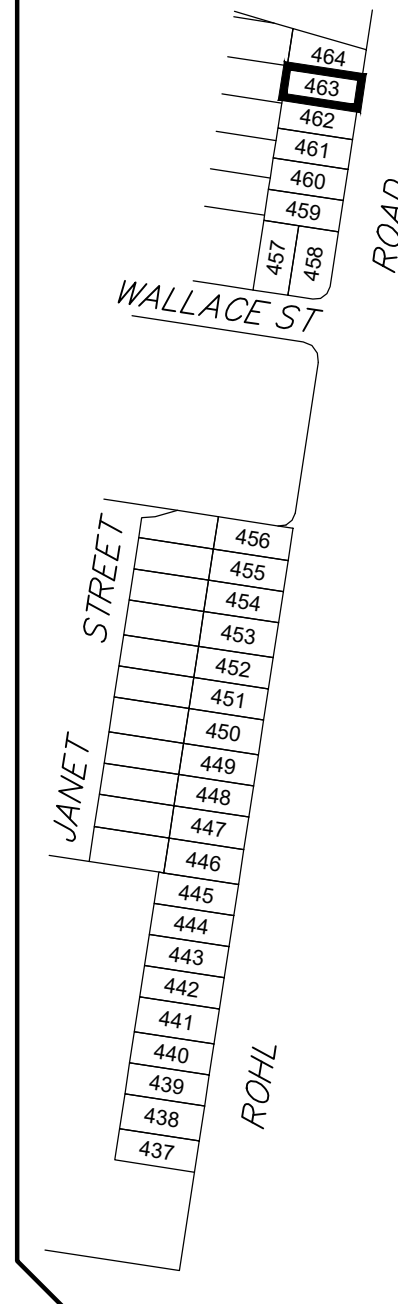


SCALE 1:250



LOCALITY DIAGRAM

NOT TO SCALE



DISCLOSURE PLAN FOR PROPOSED LOT 463

This plan shows:

Details of Proposed Lot 463 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants.

A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SP129274, Lot 2 on RP54767, Lot 1 on SP179238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions.

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions. Waterlea Nominees Co Pty Ltd recommends using As Constructed information for design purposes.

Engineering details shown hereon were supplied by Calibre on 9th March 2021.

Design surface contours based on AHD datum at an interval of 0.5m, shown as: — 63.5 —

Where applicable, Easements are shown as:

Where applicable areas to be filled are shown as:

Where applicable areas to be cut are shown as:

Where applicable, Retaining walls are shown as:

Maximum Fill Depth: 0.1m

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798-2007 and Ipswich City Council Planning Scheme Policy 3 – General Works, Part 4 – Eathworks.

Project:

**WATERLEA
STAGE 5B**

Client:

**WATERLEA
NOMINEES CO
PTY LTD**



LANDPARTNERS
built environment consultants

Western Corridor Office
Level 6, Springfield Tower
145 Sinnathamby Boulevard
Springfield Central QLD 4300
PO Box 4647
Springfield QLD 4300

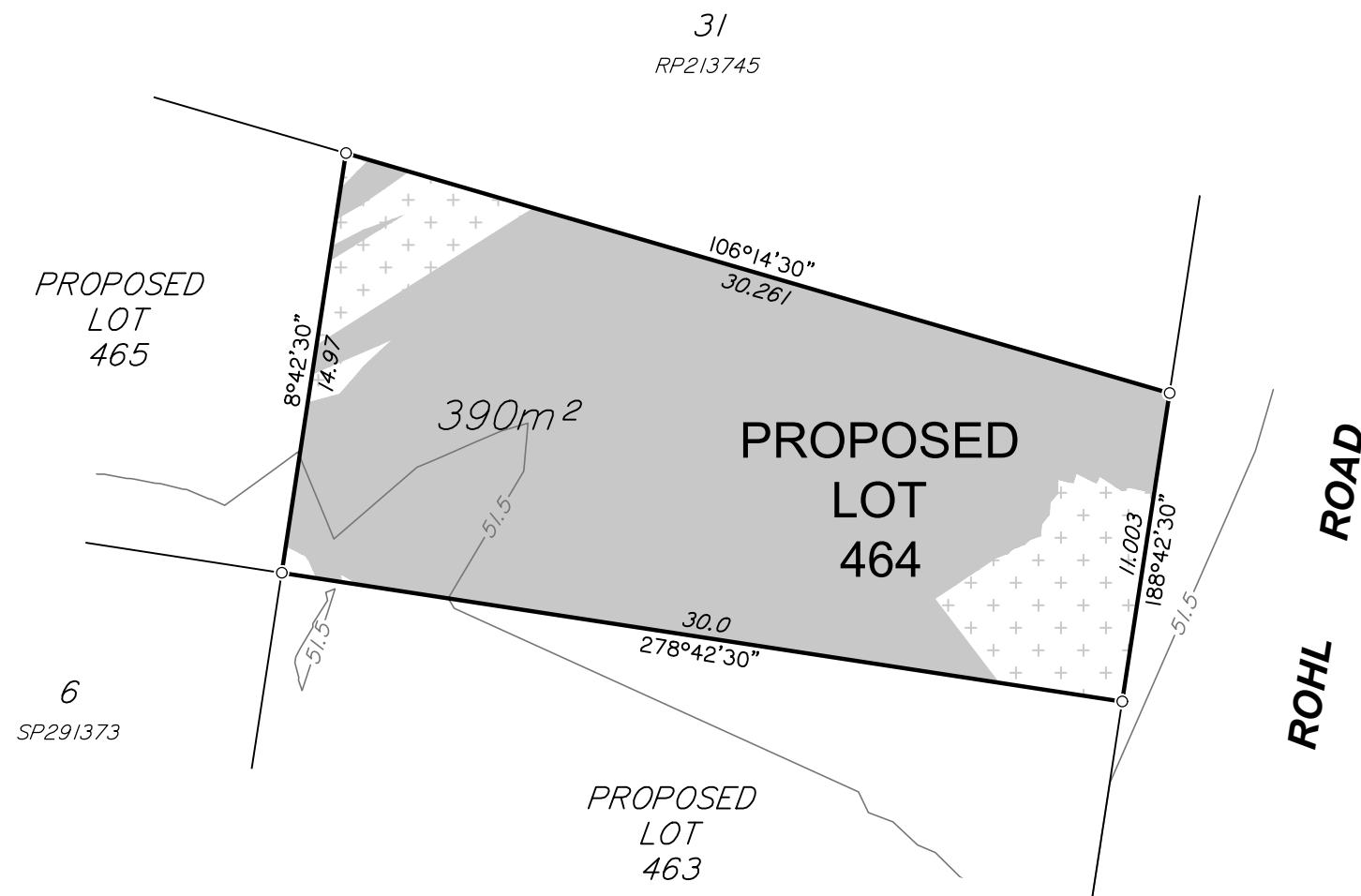
t (07) 3470 8100
f (07) 3470 8101
e info@landpartners.com.au
w www.landpartners.com.au



DRAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER WC007157-05B-29-2	
DATE	18/03/2021		



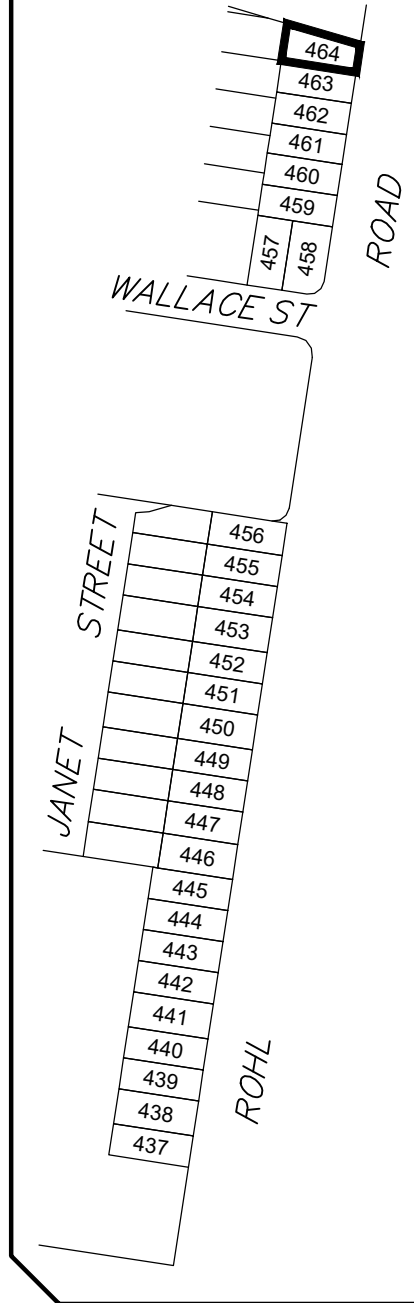
SCALE 1:250



ROHL ROAD

LOCALITY DIAGRAM

NOT TO SCALE



DISCLOSURE PLAN FOR PROPOSED LOT 464

This plan shows:
Details of Proposed Lot 464 on the Reconfiguration Plan 0715-0430-00-15-D005-02, Rev 06 by Tract Consultants.
A Change to a Reconfiguration of a Lot application, being application number 10028/2019/MAMC/A to reconfigure Lot 808 on SP303713, Lot 2 on SP129274, Lot 2 on RP54767, Lot 1 on SP179238, Lot 2 on SP291492 and Lot 2 on SP297383 at Walloon was approved by Ipswich City Council on 23 September 2020 with conditions.

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions. Waterlea Nominees Co Pty Ltd recommends using As Constructed information for design purposes.

Engineering details shown hereon were supplied by Calibre on 9th March 2021.

Design surface contours based on AHD datum at an interval of 0.5m, shown as: 63.5

Where applicable, Easements are shown as:

Where applicable areas to be filled are shown as:

Where applicable areas to be cut are shown as:

Where applicable, Retaining walls are shown as:

Maximum Fill Depth: 0.1m

Fill Compaction Rate: 95% Standard Dry Density, carried out in accordance with Australian Standard AS 3798-2007 and Ipswich City Council Planning Scheme Policy 3 - General Works, Part 4 - Earthworks.

Project:
**WATERLEA
STAGE 5B**

Client:
**WATERLEA
NOMINEES CO
PTY LTD**





LANDPARTNERS
built environment consultants

Western Corridor Office
Level 6, Springfield Tower
145 Sinnathamby Boulevard
Springfield Central QLD 4300
PO Box 4647
Springfield QLD 4300

t (07) 3470 8100
f (07) 3470 8101
e info@landpartners.com.au
w www.landpartners.com.au



DRAWN	KT	DATUM	AHD
DATE	17/03/2021	LEVEL ORIGIN	PSM133152 RL37.876
CHECKED	AW	COMPUTER FILE	WC007157-05B-2-2
DATE	18/03/2021	SCALE (@ A3)	1:250
APPROVED	PJB	PLAN NUMBER WC007157-05B-30-2	
DATE	18/03/2021		

